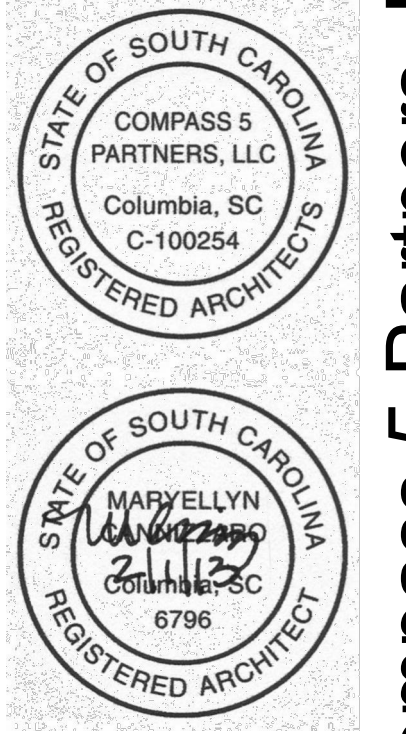


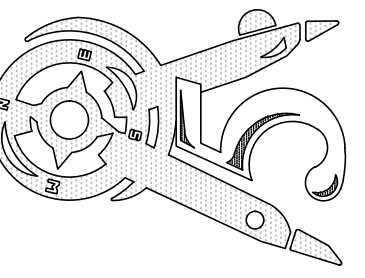
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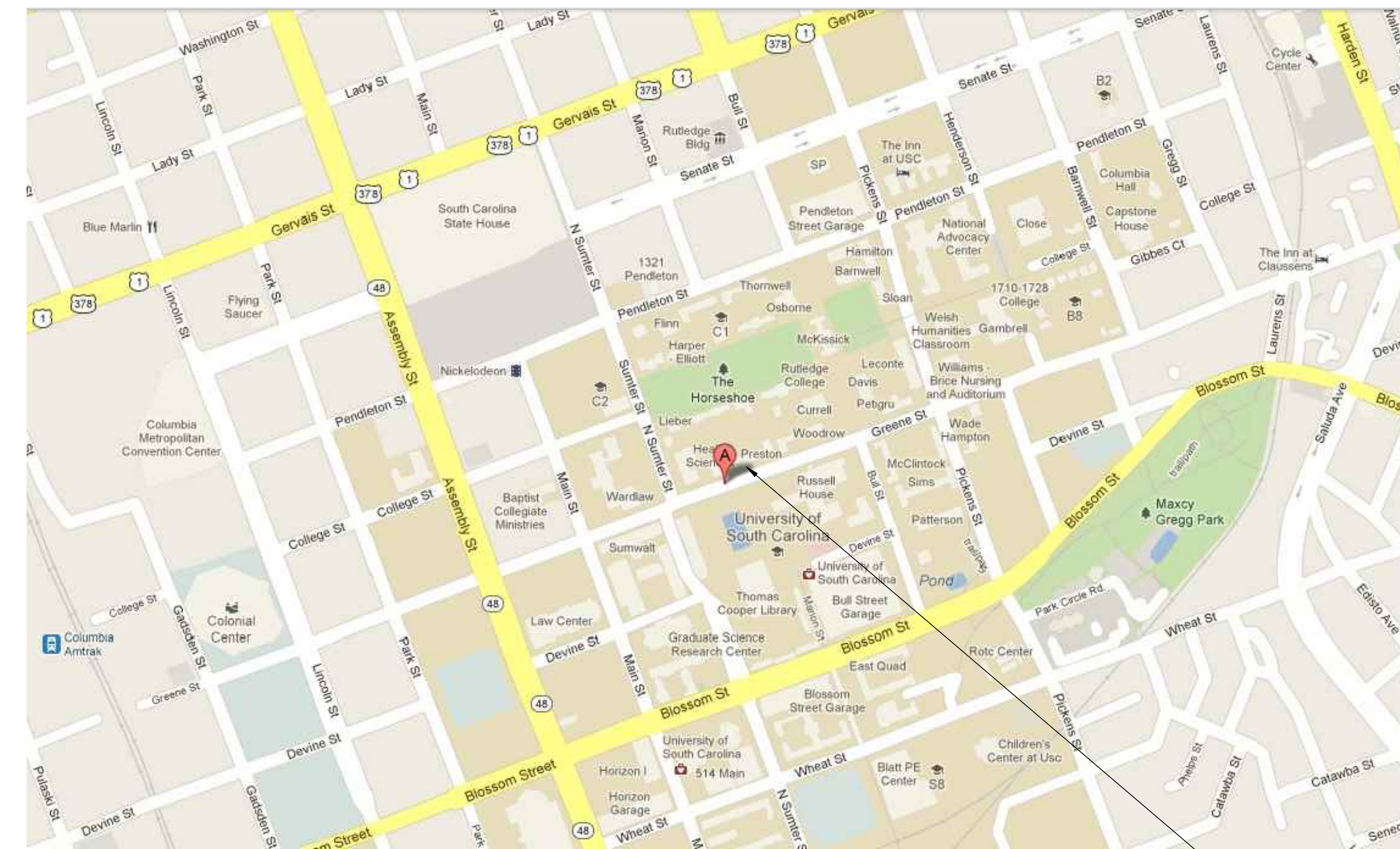
H27-6086-SG Columbia, SC



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ARCHITECT	
Compass 5 Partners, LLC 1329 State Street Cayce, South Carolina 29033 803-765-0838 p compasspartners.com	
SHEET No.	DESCRIPTION
G000	COVER SHEET & INDEX
G001	CODE SHEET, GENERAL NOTES, AND LEGEND
G100	OVERALL LIFE SAFETY PLANS
AD100	OVERALL DEMOLITION PLANS
AD101	ALTERNATE DEMOLITION PLANS
AD111	ENLARGED TOILET DEMOLITION PLANS
AD112	ENLARGED TOILET DEMOLITION PLANS
A100	OVERALL RENOVATION PLANS
A101	ALTERNATE RENOVATION PLANS
A111	ENLARGED TOILET RENOVATION PLANS
A112	ENLARGED TOILET RENOVATION PLANS
A120	OVERALL REFLECTED CEILING PLANS
A121	OVERALL ALTERNATE REFLECTED CEILING PLANS
A131	ENLARGED TOILET REFLECTED CEILING PLANS
A132	ENLARGED TOILET REFLECTED CEILING PLANS
A200	INTERIOR ELEVATIONS
A201	INTERIOR ELEVATIONS
A500	CEILING AND SEISMIC DETAILS
A501	SHOWER ENCLOSURE DETAILS
A502	SHOWER ENCLOSURE DETAILS
A503	ENLARGED DETAILS
A504	ENLARGED DETAILS
A601	FIRST FLOOR ROOM FINISH SCHEDULE
A602	SECOND FLOOR ROOM FINISH SCHEDULE
A603	THIRD FLOOR ROOM FINISH SCHEDULE
A711	ENLARGED FLOOR FINISH PLANS
A712	ENLARGED FLOOR FINISH PLANS



LOCATION MAP
NO SCALE

MECHANICAL	
Swygert & Associates 1315 State Street Cayce, South Carolina 29033 803-791-9300 office	
SHEET No.	DESCRIPTION
MD100	OVERALL DEMOLITION PLANS
MD101	ENLARGED TOILET DEMOLITION PLANS
M100	OVERALL RENOVATION PLANS
M101	ENLARGED TOILET RENOVATION PLANS
M102	ATTIC FLOOR RENOVATION PLAN, NOTES, SCHEDULE AND LEGEND

PLUMBING	
Swygert & Associates 1315 State Street Cayce, South Carolina 29033 803-791-9300 office	
SHEET No.	DESCRIPTION
PD100	OVERALL DEMOLITION PLANS
PD101	ENLARGED TOILET DEMOLITION PLANS
P100	OVERALL RENOVATION PLANS
P101	ENLARGED TOILET RENOVATION PLANS
P200	DETAIL, NOTES, SCHEDULE, AND LEGEND

ELECTRICAL	
Buford Goff & Associates, Inc. 1331 Elmwood Avenue, Suite 200 Columbia, South Carolina 29201 803-254-6302 office	
SHEET No.	DESCRIPTION
E100	OVERALL RENOVATION PLANS – ELECTRICAL
E121	ENLARGED TOILET REFLECTED CEILING PLANS
E122	ENLARGED TOILET REFLECTED CEILING PLANS

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Project Number:	1238 ULH
REVISIONS	
OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

COVER SHEET

Date: 01-24-13
Drawn: BRB
Checked: MEC

G000

PROJECT DESIGNED IN ACCORDANCE WITH:

- International Existing Building Code, 2009 Edition.
- International Building Code, 2009 Edition.
- International Energy Conservation Code, 2009 Edition.
- International Fire Code, 2009 Edition.
- International Fuel Gas Code, 2009 Edition.
- International Mechanical Code, 2009 Edition.
- International Plumbing Code, 2009 Edition.
- ICC Electrical Code, Administrative Provisions, Administrative Provisions, ICC EC-2006 Edition.
- National Electrical Code, NFPA 70, 2005 Edition
- National Electrical Safety Code, ANSI-C2-2002 Edition.
- State Fire Marshal Regulations, latest revision
- ASHRAE/IESNA 90.1, Energy Standard for Buildings except Low-Rise Residential Buildings 2001 Edition.
- ICC/ANSI-A117.1-2003, Accessible and Usable Buildings and Facilities.

TABLE 5.6-2: BASIC CODE REVIEW INFORMATION

1 Site Development

1.1 Total Area of Project Site (in acres): N/A

A. Total Area of Project Site that will be Disturbed/Developed (in acres): N/A

B. Municipality and/or County Where Project is Located:

C. Jurisdiction for: RICHLAND

1. Site Work: N/A

2. Fire Department: N/A Project in Fire District? Yes No

3. Water: -

4. Sewer: -

5. Zoning: - Land Use Zone: -

1.2. Is Project in a Flood Plain? Yes No

1.3. Is Project in Wetlands Area? Yes No

2 Occupancy

A. Occupancy Classification: Residential Dormitory Group: R-2

B. Additional Occupancy Classification(s) N/A Group: -

3 Type of Construction

A. Construction Classification: IIA, Sprinklered (PER IBC 2009) Un-Protected

B. Is the building construction protected or unprotected? -

C. Is the building construction of combustible or noncombustible materials? Non-Combustible

D. Is the building provided with a fire protection sprinkler system? Yes

E. Structural frame and floor decking is constructed of non-combustible concrete. Exterior walls and interior partitions are non-loadbearing and constructed of non-combustible masonry units. Roof construction is tongue-and-groove wood decking over steel trusses.

4 General Building Design, Allowable Area, Height and Occupant Load

Building Area Allowed By IBC Table 500:
(See Tables 5.6-3, 5.6-4, 5.6-5)

TABLE 5.6-3: BUILDING AREA

Floor or Level	Total Design Area	Square Footage as Allowed by IBC			
		Without Increase (IBC Table 503)	Frontage Increase (IBC 506.2)	Sprinkler Increase (IBC 506.3)	Total Allowable Area (IBC 506.1)
First Floor	20,680	0	N/A	N/A	24,000
Second Floor	20,680	0	N/A	N/A	24,000
Third Floor	20,680	0	N/A	N/A	24,000
Total Floor Area (incl. all increases)	62,040	0	N/A	N/A	72,000

TABLE 5.6-4: BUILDING HEIGHT

	Existing		As Allowed by IBC	
	In Feet	In Stories	In Feet	In Stories
Without any Allowable Increase	65'	3	65'	4
Allowable Height Increase	N/A	N/A	N/A	N/A
Total Height including any Allowable Increase	65'	3	65'	4

TABLE 5.6-5: BUILDING DESIGN OCCUPANT LOAD

Area	Occupancy Type	Occupancy Floor Area	Floor Area in SF/Occupant	Occupants per Occupancy Type	Design Occupant Load
First Floor	R-2	20,680 SF	200 GSF	104 PEOPLE	104
Second Floor	R-2	20,680 SF	200 GSF	104 PEOPLE	104
Third Floor	R-2	20,680 SF	200 GSF	104 PEOPLE	104
					312

TABLE 5.6-6: FIRE RESISTANCE RATING OF BUILDING ELEMENTS

Building Element	Existing Rating (in hours)	Rating As Required (in hours)	Testing Agency & Design Number (UL, FM, etc)
Structural Frame Including Columns, Girders and Trusses	1	1	N/A
Bearing Walls, Exterior	N/A	2	N/A
Bearing Walls, Interior	1	1	N/A
Nonbearing Walls & Partitions, Exterior	1	1	N/A
Nonbearing Walls & Partitions, Interior	0	0	N/A
Floor Construction, Including Supporting Beams & Joists	1	0	N/A
Roof Construction, Including Supporting Beams & Joists	1	0	N/A
Fire Walls	N/A	N/A	N/A
Fire Barriers	N/A	N/A	N/A
Shaft Enclosures	1	1	N/A
Fire Partitions	N/A	N/A	N/A

TABLE 5.6-7: OTHER FIRE PROTECTION REQUIREMENTS

Item	Yes	No	Comments
Are Smoke Barriers Required?		<input checked="" type="checkbox"/>	
Smoke Partitions Required?		<input checked="" type="checkbox"/>	
Protection of Penetrations Required?	<input checked="" type="checkbox"/>		
Are Penetrations per U. L. Listing /Testing Authority?			EXISTING CONSTRUCTION
Opening Protectives Required?			
Is Draftstopping Required?	<input checked="" type="checkbox"/>		
Is Fireblocking Required?		<input checked="" type="checkbox"/>	
Are Sprinklers Required?	<input checked="" type="checkbox"/>		
Are Standpipes Required?		<input checked="" type="checkbox"/>	< 30' TO 3RD FLOOR/HIGHEST FLOOR LEVEL
Is a Fire Alarm System Required?	<input checked="" type="checkbox"/>		

TABLE 5.6-8: STRUCTURAL DESIGN INFORMATION (per IBC Chapter 16)

- Floor Live Load PSF EXST
- Roof Live Load PSF EXST
- Ground Snow Load PSF EXST
 - A. Flat Roof Snow Load, P_f P_f = N/A
 - B. Snow Exposure Load, C_e C_e = N/A
 - C. Snow Load Importance Factor, I_s I_s = N/A
 - D. Thermal Factor, C_t C_t = N/A
- Wind Loads
 - A. Basic Wind Speed, V_{3S} V_{3S} = N/A
 - B. Wind Importance Factor, I_w I_w = N/A
 - C. Building Category EXST
 - D. Wind Exposure N/A
 - E. Internal Pressure Coefficient N/A
 - F. Component and Cladding Wind Pressure N/A
 - G. Seismic Loads N/A

TABLE 5.6.9: PLUMBING INFORMATION

- Water System: No. Fixture Units: EXST Peak GPM: EXST Service Line Size: EXST
- Sanitary Sewer System Loading: GPD
- Service Line Size: EXST Slope: EXST
- (a) Water Closets: Req'd: Male: Female: Provided: Male: Female:
 - (b) Lavatories: Req'd: Male: Female: Provided: Male: Female: -
 - (c) Drinking Fountains: Req'd: Provided: -
 - (d) Unisex toilet: Req'd: Provided: -
 - (e) Other: Req'd: Provided: -

NOTE: The Occupant load for minimum required toilet facilities shall be the same as the Building Design Occupant Load indicated in Table 5.6-5, above.

TABLE 5.6-10: MECHANICAL INFORMATION

- Overall Thermal Transfer Value (OTTV): EXST
- Cooling Load: EXST S.F./Ton
- Heating Load: EXST BTU/S.F.
- Outside Air (CFM/Person) EXST CFM/P
- Insulation R-value: Ext. Walls N/A Roof N/A
- Glass: U-Factor EXST SC EXST Window-to-Wall Ratio EXST

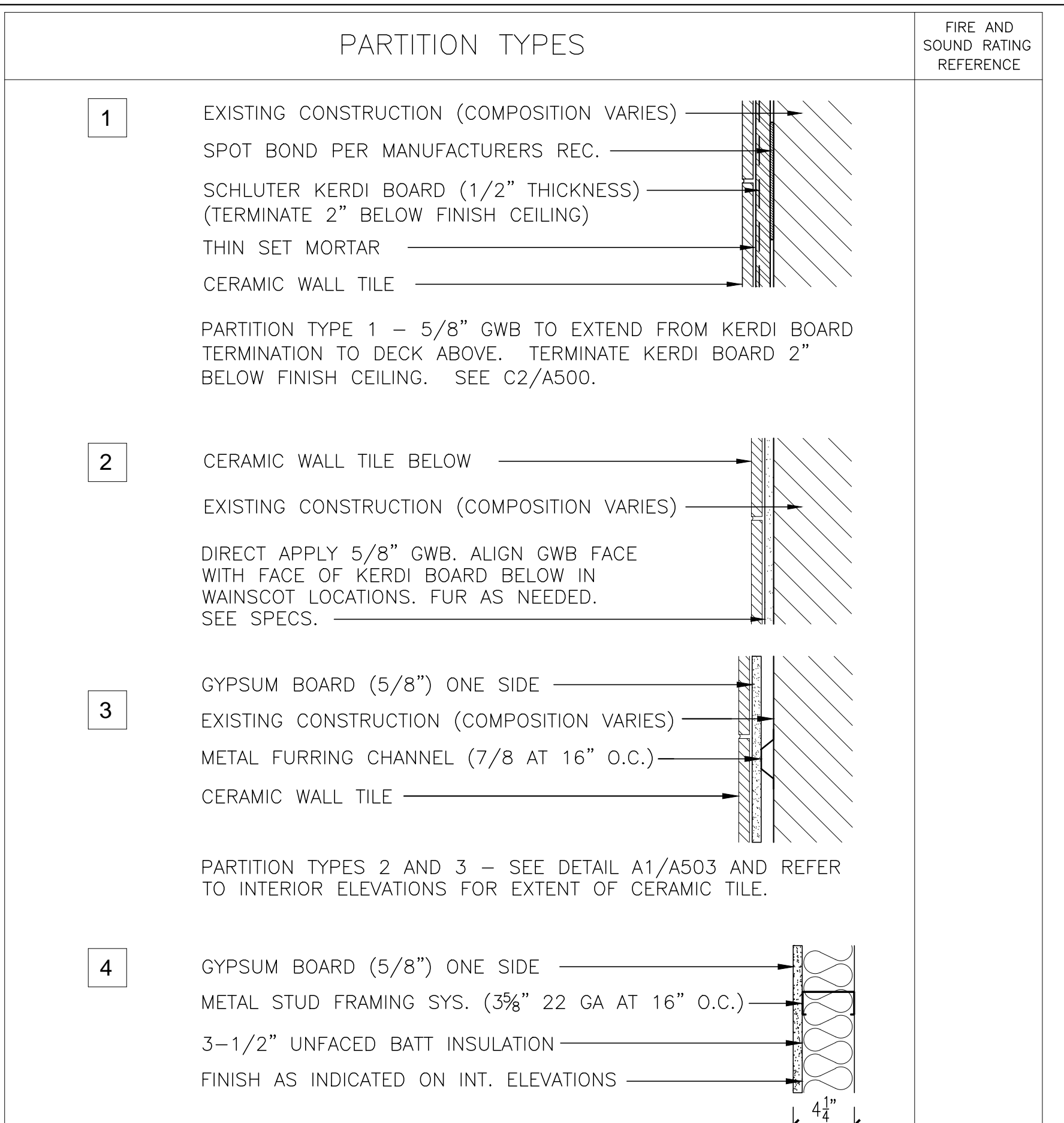
TABLE 5.6-11: ELECTRICAL INFORMATION

- Service Transformer: Existing By Utility? N/A By Agency? EXST
If by Agency: KVA: N/A Primary Voltage/Phase: N/A
- Provide the following service information:
Service Voltage/Phase: 208Y/120 3PH Amperes: 1400 Existing
Service Entrance Conductors Size: N/A Quantity per Phase: N/A
Total Connected Load KVA: N/A Estimated Demand Factor:
Estimated Maximum Demand KVA: EXST
Available Fault Current in Symmetrical Amperes: EXST
Interrupting Capacity of Service Overcurrent Device: EXST
Type of Grounding Electrode System(s) per NEC 250-C: EXST
- Emergency Generator (if any): X KVA Voltage/Phase Fuel
- Exit/Emergency Lights Backup Power: Integral Battery X Generator NO
- Emergency Egress Illumination, Minimum Footcandles: 1
- Fire Alarm System: Manual Yes Automatic Yes Addressable? X Class A or B? B
- Lightning Protection Provided?: Yes No X

EXISTING TO REMAIN FIRE RATED ASSEMBLIES

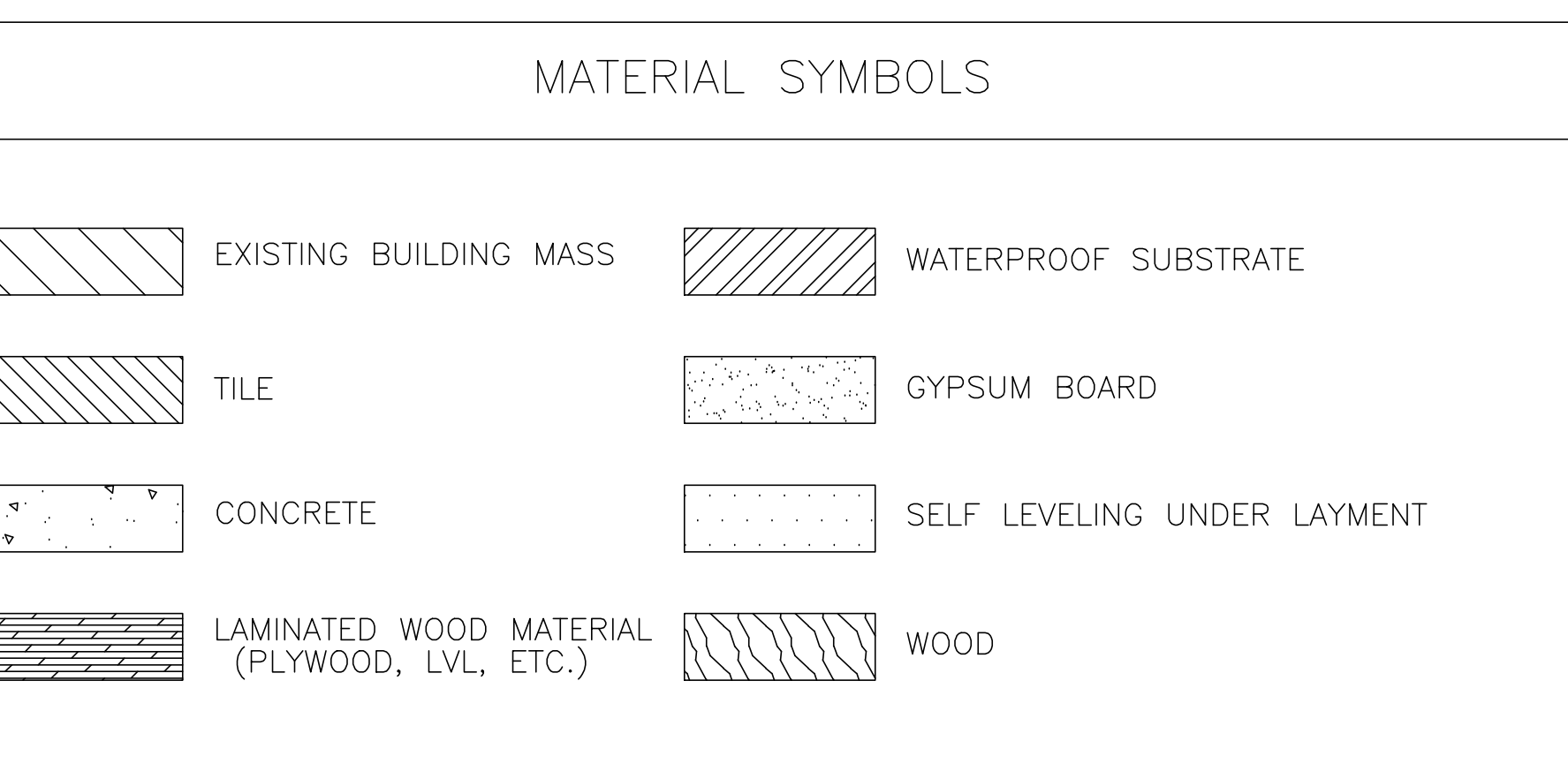
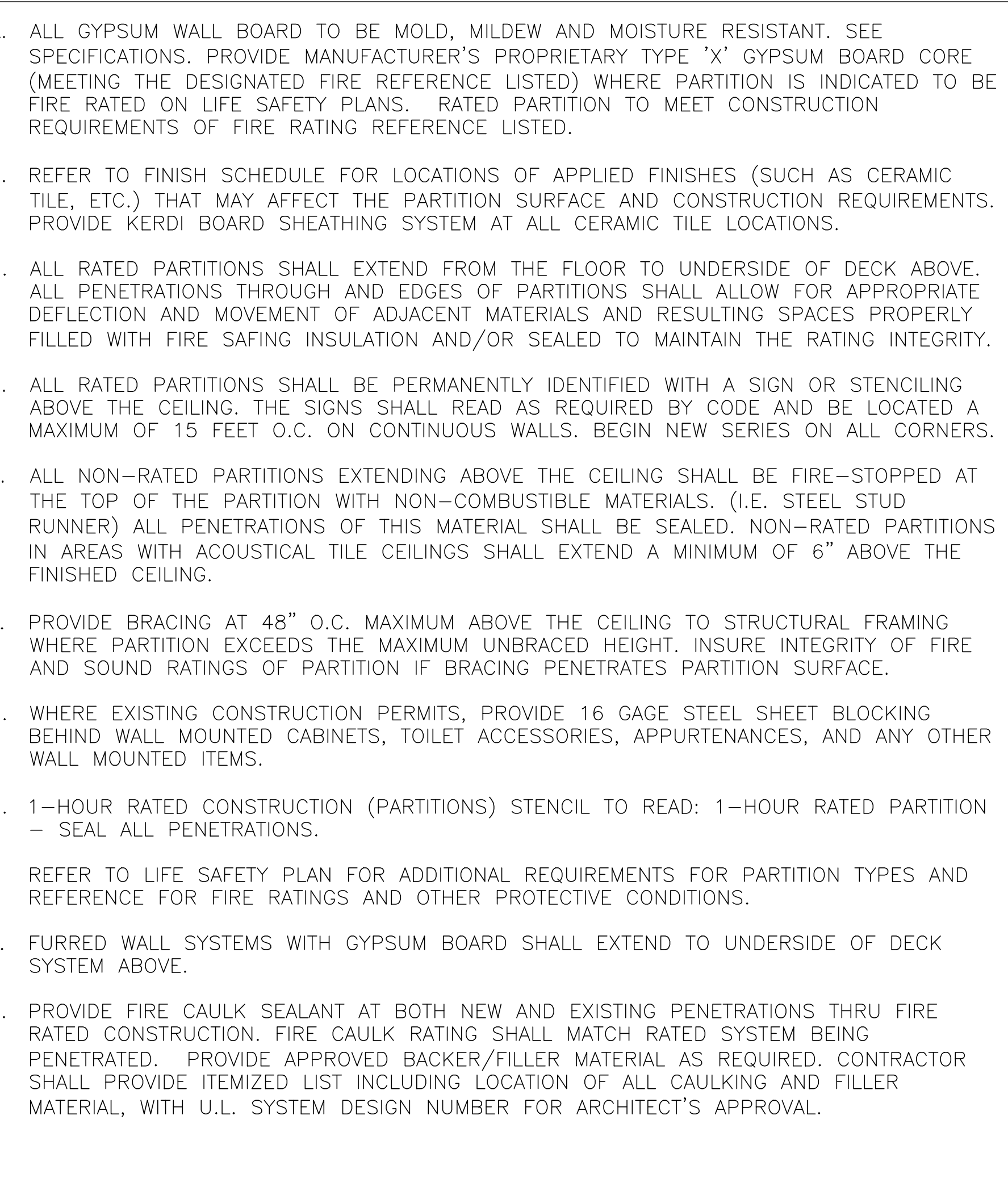
THE INTEGRITY OF REMAINING FIRE RATED ASSEMBLIES SHALL BE MAINTAINED DURING DEMOLITION AND THROUGHOUT CONSTRUCTION. ANY HOLES OR OTHER OPENINGS CREATED BY THE REMOVAL OF DOORS, FRAMES, PIPING, DUCT, CONDUIT OR ANY OTHER MATERIAL SHALL BE FILLED, PATCHED OR INFILLED WITH A UL TESTED SYSTEM OR WITH APPROPRIATELY RATED MATERIALS TO PREVENT THE PASSAGE OF FIRE AND SMOKE AS REQUIRED.

CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING FIRE PROTECTION AT COLUMNS, BEAMS AND OTHER EXISTING STEEL OR CONCRETE.



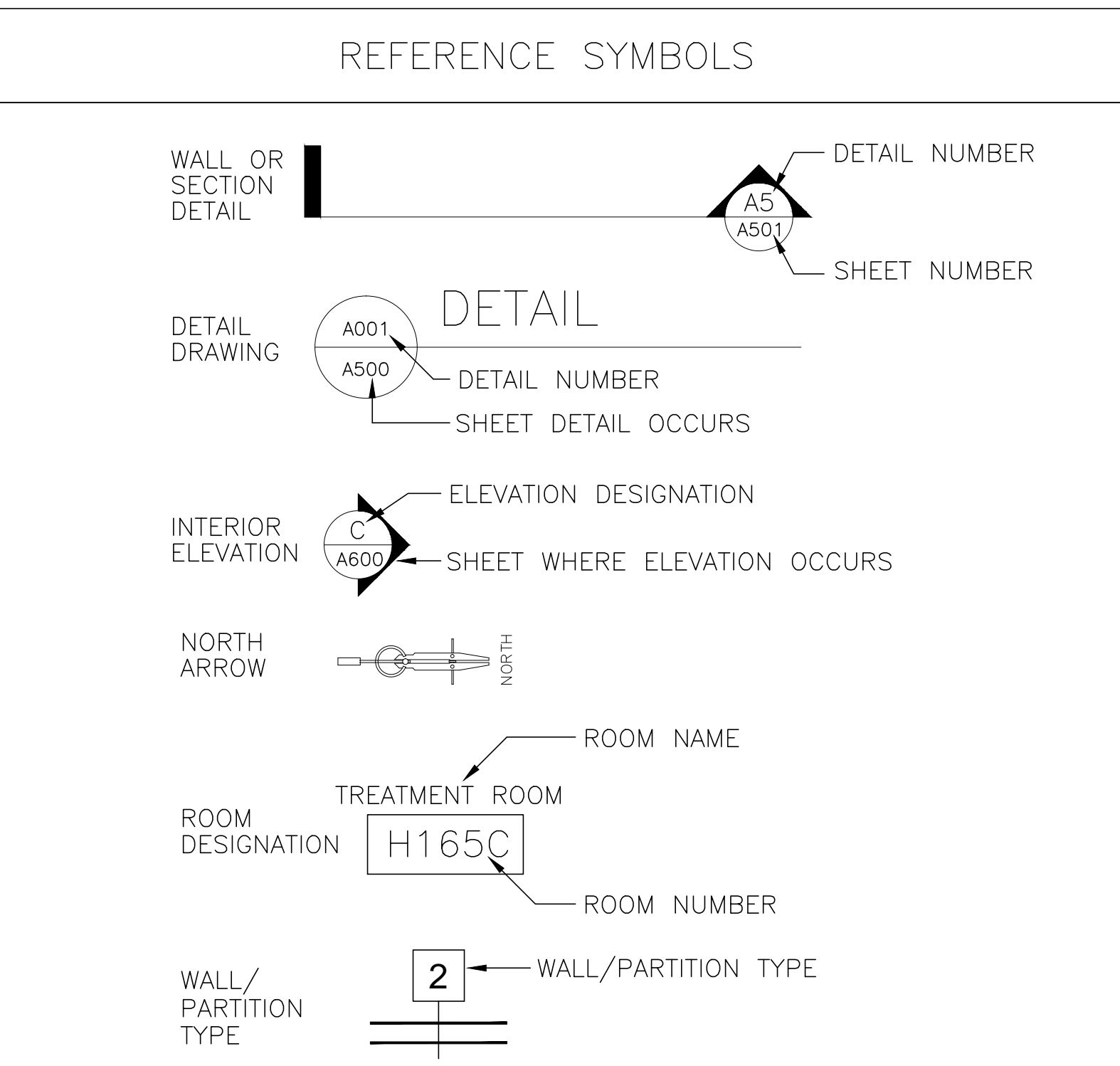
PARTITION NOTES

- ALL GYPSUM WALL BOARD TO BE MOLD, MILDEW AND MOISTURE RESISTANT. SEE SPECIFICATIONS. PROVIDE MANUFACTURER'S PROPRIETARY TYPE 'X' GYPSUM BOARD CORE (MEETING THE DESIGNATED FIRE REFERENCE LISTED) WHERE PARTITION IS INDICATED TO BE FIRE RATED ON LIFE SAFETY PLANS. RATED PARTITION TO MEET CONSTRUCTION REQUIREMENTS OF FIRE RATING REFERENCE LISTED.
- REFER TO FINISH SCHEDULE FOR LOCATIONS OF APPLIED FINISHES (SUCH AS CERAMIC TILE, ETC.) THAT MAY AFFECT THE PARTITION SURFACE AND CONSTRUCTION REQUIREMENTS. PROVIDE KERDI BOARD SHEATHING SYSTEM AT ALL CERAMIC TILE LOCATIONS.
- ALL RATED PARTITIONS SHALL EXTEND FROM THE FLOOR TO UNDERSIDE OF DECK ABOVE. ALL PENETRATIONS THROUGH AND EDGES OF PARTITIONS SHALL ALLOW FOR APPROPRIATE DEFLECTION AND MOVEMENT OF ADJACENT MATERIALS AND RESULTING SPACES PROPERLY FILLED WITH FIRE SAFING INSULATION AND/OR SEALED TO MAINTAIN THE RATING INTEGRITY.
- ALL RATED PARTITIONS SHALL BE PERMANENTLY IDENTIFIED WITH A SIGN OR STENCILING ABOVE THE CEILING. THE SIGNS SHALL READ AS REQUIRED BY CODE AND BE LOCATED A MAXIMUM OF 15 FEET O.C. ON CONTINUOUS WALLS. BEGIN NEW SERIES ON ALL CORNERS.
- ALL NON-RATED PARTITIONS EXTENDING ABOVE THE CEILING SHALL BE FIRE-STOPPED AT THE TOP OF THE PARTITION WITH NON-COMBUSTIBLE MATERIALS. (I.E. STEEL STUD RUNNER) ALL PENETRATIONS OF THIS MATERIAL SHALL BE SEALED. NON-RATED PARTITIONS IN AREAS WITH ACOUSTICAL TILE CEILINGS SHALL EXTEND A MINIMUM OF 6" ABOVE THE FINISHED CEILING.
- PROVIDE BRACING AT 48" O.C. MAXIMUM ABOVE THE CEILING TO STRUCTURAL FRAMING WHERE PARTITION EXCEEDS THE MAXIMUM UNBRACED HEIGHT. INSURE INTEGRITY OF FIRE AND SOUND RATINGS OF PARTITION IF BRACING PENETRATES PARTITION SURFACE.
- WHERE EXISTING CONSTRUCTION PERMITS, PROVIDE 16 GAGE STEEL SHEET BLOCKING BEHIND WALL MOUNTED CABINETS, TOILET ACCESSORIES, APPURTENANCES, AND ANY OTHER WALL MOUNTED ITEMS.
- 1-HOUR RATED CONSTRUCTION (PARTITIONS) STENCIL TO READ: 1-HOUR RATED PARTITION - SEAL ALL PENETRATIONS.
- REFER TO LIFE SAFETY PLAN FOR ADDITIONAL REQUIREMENTS FOR PARTITION TYPES AND REFERENCE FOR FIRE RATINGS AND OTHER PROTECTIVE CONDITIONS.
- FURRED WALL SYSTEMS WITH GYPSUM BOARD SHALL EXTEND TO UNDERSIDE OF DECK SYSTEM ABOVE.
- PROVIDE FIRE CAULK SEALANT AT BOTH NEW AND EXISTING PENETRATIONS THRU FIRE RATED CONSTRUCTION. FIRE CAULK RATING SHALL MATCH RATED SYSTEM BEING PENETRATED. PROVIDE APPROVED BACKER/FILLER MATERIAL AS REQUIRED. CONTRACTOR SHALL PROVIDE ITEMIZED LIST INCLUDING LOCATION OF ALL CAULKING AND FILLER MATERIAL, WITH U.L. SYSTEM DESIGN NUMBER FOR ARCHITECT'S APPROVAL.



GENERAL NOTES

- REFER TO SPECIFICATIONS FOR OWNER PROVIDED HAZARDOUS MATERIALS SURVEY AND RELATED INFORMATION. CONTRACTOR SHALL CONTACT OWNER IMMEDIATELY IF ANY SUSPECT MATERIALS ARE ENCOUNTERED.
- EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON RECORD DOCUMENTS PROVIDED BY THE OWNER. THIS INFORMATION IS FOR REFERENCE ONLY AND SHALL BE FIELD VERIFIED BY CONTRACTOR.
- GENERAL CONTRACTOR AND ALL APPROPRIATE SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO COMMENCING DEMOLITION AND NEW CONSTRUCTION.
- ALL WORK PERFORMED ON EXISTING WARRANTED SYSTEMS OR ASSEMBLIES SHOULD BE PERFORMED BY APPROVED CONTRACTORS FOR SUCH ASSEMBLIES AND IN SUCH A MANNER THAT EXISTING WARRANTIES ARE NOT VOIDED OR JEOPARDIZED IN ANY MANNER.
- REFER TO SHEET G100 LIFE SAFETY PLAN FOR LOCATIONS OF FIRE RATINGS.
- WALL DIMENSIONS SHOWN ON PLANS ARE TO FACE OF GWB. DIMENSIONS FROM EXISTING CONSTRUCTION ARE FROM FACE OF EXISTING FINISH SUBSTRATE UNO. SEE SPECS.
- CONSTRUCTION MATERIALS OR CONSTRUCTION PROCESSES WHICH ARE HAZARDOUS TO WORKERS OR FUTURE OCCUPANTS ARE NOT PERMITTED.
- THE CONSTRUCTION SUBSYSTEMS AND PARTITION TYPES SHOWN INDICATE THE GENERAL CONSTRUCTION FEATURES OF THE WORK TO BE COMPLETED. THEY ARE NOT INTENDED TO REPRESENT THE ENTIRE CONSTRUCTION PROCESS AND ACCESSORIES USED. THE CONTRACTORS ARE RESPONSIBLE FOR COMPLETED SYSTEMS AND TO BE IN COMPLIANCE WITH GOVERNING CODES AND THE INTENT OF THE CONSTRUCTION DRAWINGS.
- TESTING AND CODE REFERENCES USED IN THESE DRAWINGS BY ABBREVIATION. OTHER TESTING AGENCIES ARE ACCEPTABLE IF IN COMPLIANCE WITH TESTING STANDARDS.
- SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS BY OTHER FOR ADDITIONAL NOTES AND REFERENCES.
- DETAILS ARE SHOWN TO DESCRIBE DESIGN INTENT. COORDINATE COMPLETE SHOP DRAWINGS, SHOWING ALL CONSTRUCTION DETAILS AND LAYOUTS AS REQUIRED FOR A COMPLETE JOB, ADHERING TO THE MANUFACTURER'S WARRANTIES AND LOCAL AND STATE CODES.
- PROVIDE ACCESS PANELS WHERE NEEDED TO ACCESS VALVES, EQUIPMENT, FILTERS, ETC. EVEN IF NOT NOTED IN DRAWINGS. ANY ACCESS PANELS ACCESSED THROUGHOUT CONSTRUCTION ARE TO BE CLOSED/REPLACED AFTER USE.
- THE CONTRACTOR SHALL SCHEDULE ALL WORK INCLUDING ANY INTERRUPTION OF UTILITIES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AN UPDATED SCHEDULE AND COORDINATING CHANGES WITH OWNER AND ARCHITECT.
- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS AND COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. REPORT ANY INCONSISTENCIES TO THE ARCHITECT AT ONCE.
- "ALIGN" AS INDICATED ON THE DRAWINGS SHALL BE UNDERSTOOD TO MEAN THE WALLS OR COLUMNS INDICATED.
- WORK OF THE ENGINEERING DISCIPLINES IS SHOWN ON THE ARCHITECTURAL DRAWINGS FOR COORDINATION PURPOSES ONLY. REFER TO APPROPRIATE DISCIPLINE DRAWINGS FOR COMPLETE AND GOVERNING INFORMATION REGARDING THEIR WORK. INCOMPLETE, INCONSISTENT, OR MISSING ENGINEERING INFORMATION ON ARCHITECTURAL DRAWINGS SHALL NOT BE CONSTRUED AS BINDING FOR THAT WORK.
- DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.
- REFER TO PROJECT MANUAL, ALL TOILET ACCESSORIES AND APPURTENANCES TO BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED, UNLESS NOTED OTHERWISE.
- PROVIDE CEMENTITIOUS SELF-LEVELING UNDERLAYMENT AT ALL AREAS IDENTIFIED TO RECEIVE NEW FLOORING IN TOILET AND SHOWER AREAS.
- REFER TO PROJECT MANUAL FOR UNIVERSITY OF SOUTH CAROLINA SUPPLEMENTARY GENERAL CONDITIONS, DEBRIS REMOVAL AND SAFETY PRECAUTIONS.
- CASEWORK DIMENSIONS SHALL BE FIELD-VERIFIED PRIOR TO FABRICATION AND INSTALLATION.
- EXISTING WALL CONSTRUCTION INCLUDES A RANGE OF VARIABLE STRUCTURE AND SUBSTRATES, INCLUDING, BUT NOT LIMITED TO, CLAY MASONRY UNITS, CONCRETE BLOCK, AND METAL STUDS. CONTRACTOR SHALL COORDINATE THE WORK ACCORDINGLY TO EACH VARIABLE CONSTRUCTION ASSEMBLY. CONTRACTOR SHALL NOTIFY ARCHITECT IF ANY UNFORESEEN CONDITIONS ARE ENCOUNTERED.
- EXISTING FLOOR SLAB CONSTRUCTION INCLUDES A RANGE OF VARIABLE CONSTRUCTION ASSEMBLIES AND MATERIALS. CONTRACTOR SHALL COORDINATE THE WORK ACCORDINGLY TO EACH VARIABLE CONSTRUCTION ASSEMBLY.



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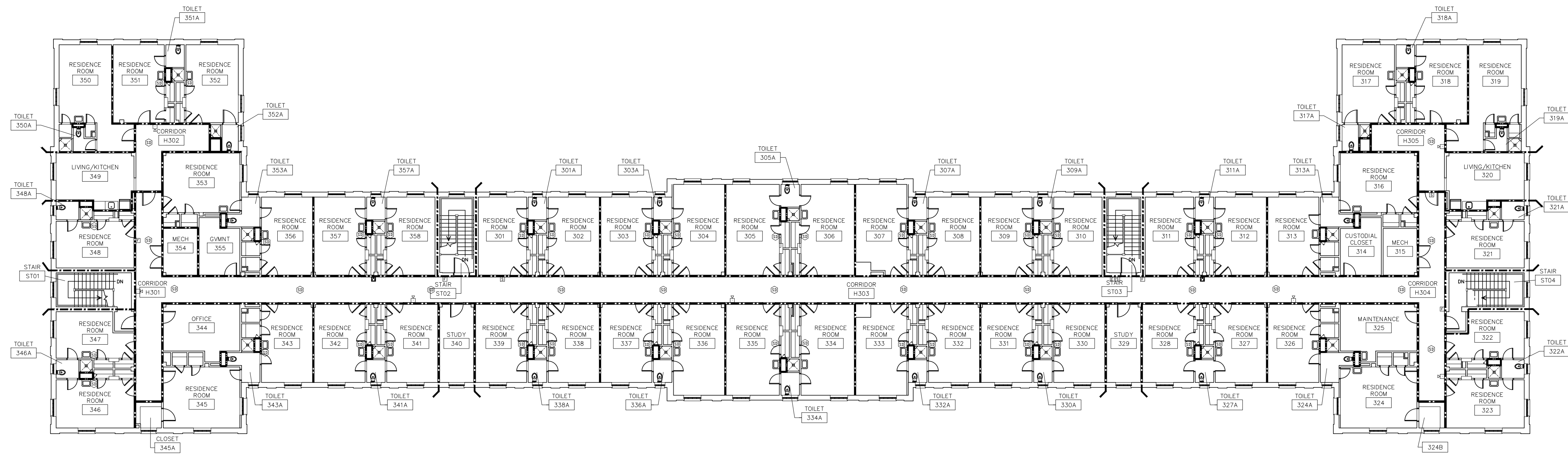
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CODE REVIEW WALL TYPES GENERAL NOTES

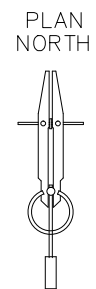
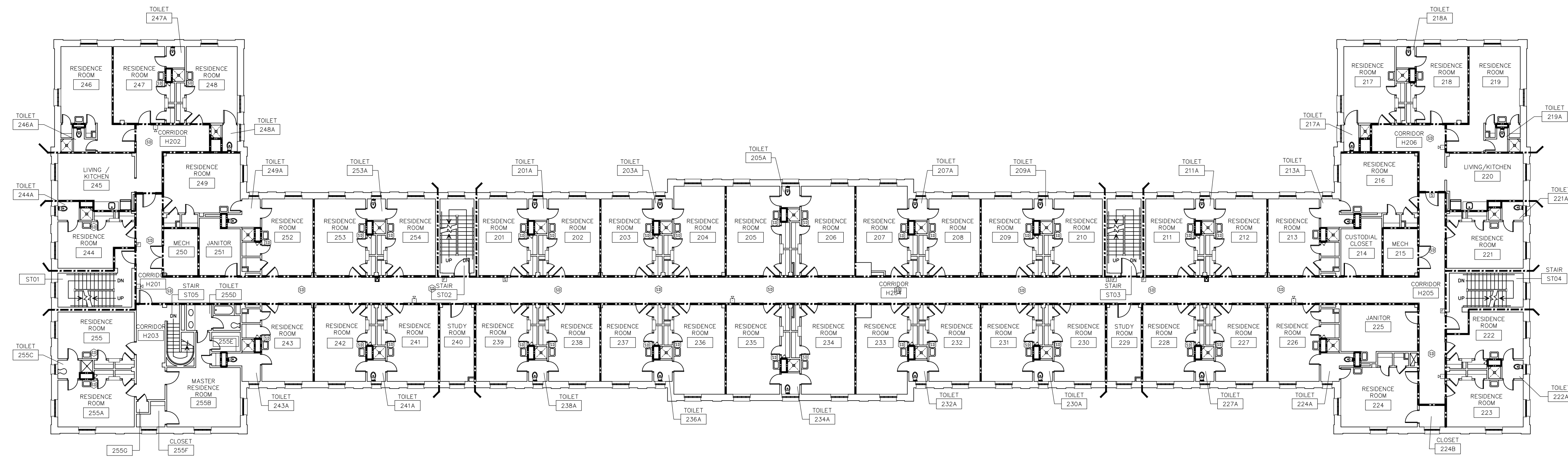
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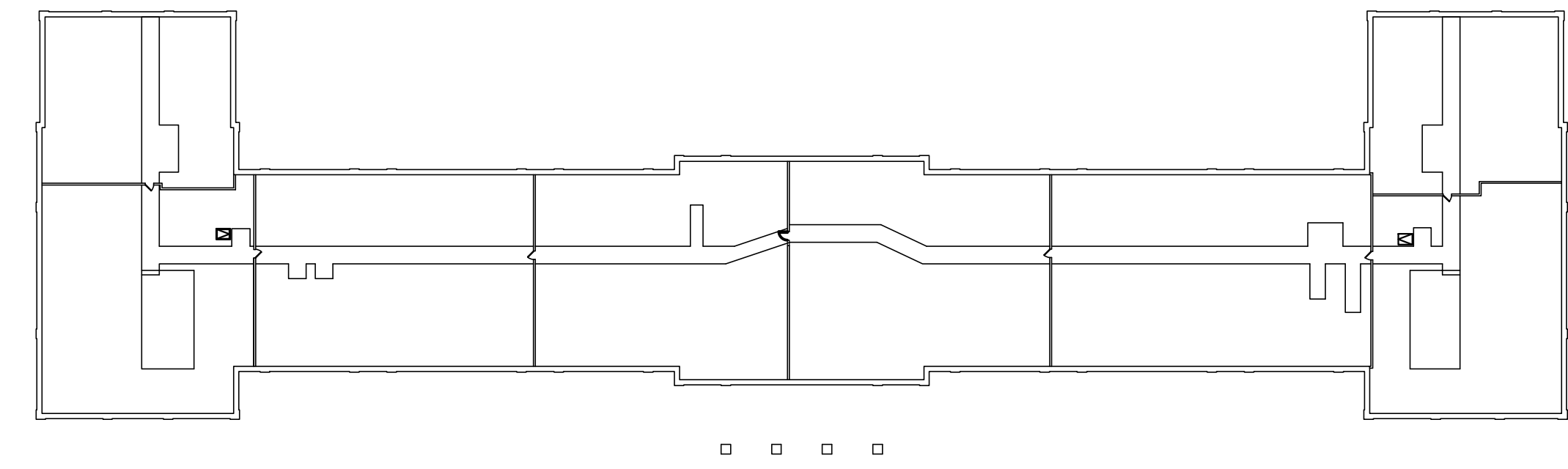
C1 3RD FLOOR OVERALL LIFE SAFETY PLAN

SCALE: 1/16" = 1'-0"



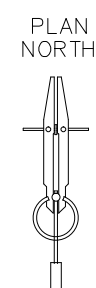
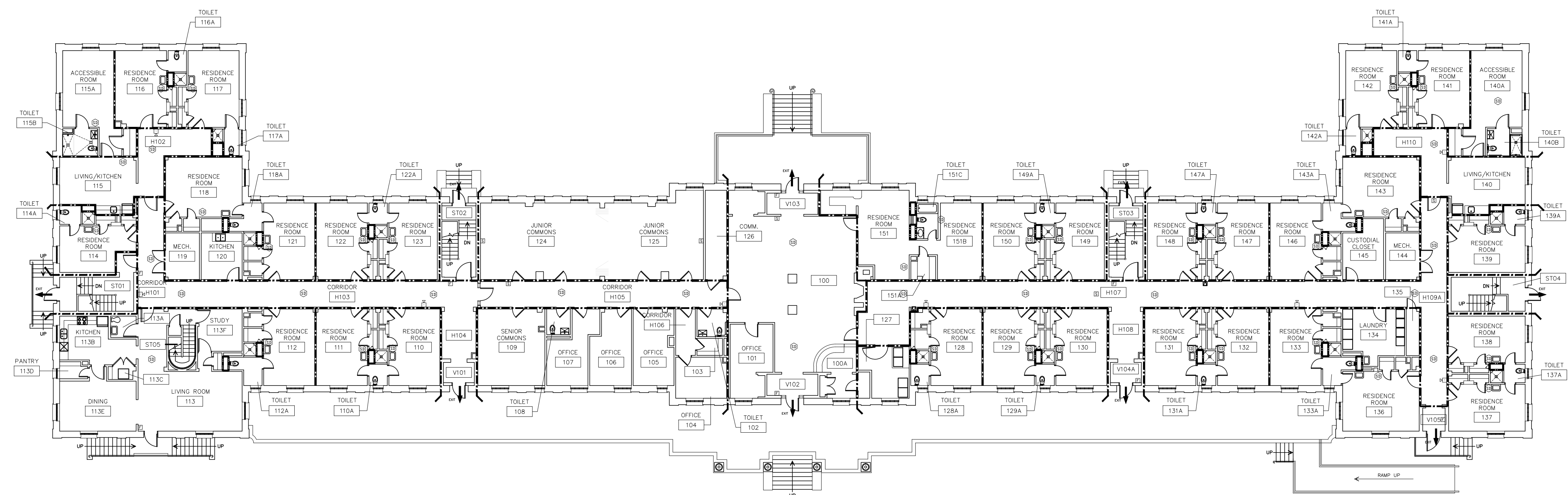
B1 2ND FLOOR OVERALL LIFE SAFETY PLAN

SCALE: 1/16" = 1'-0"



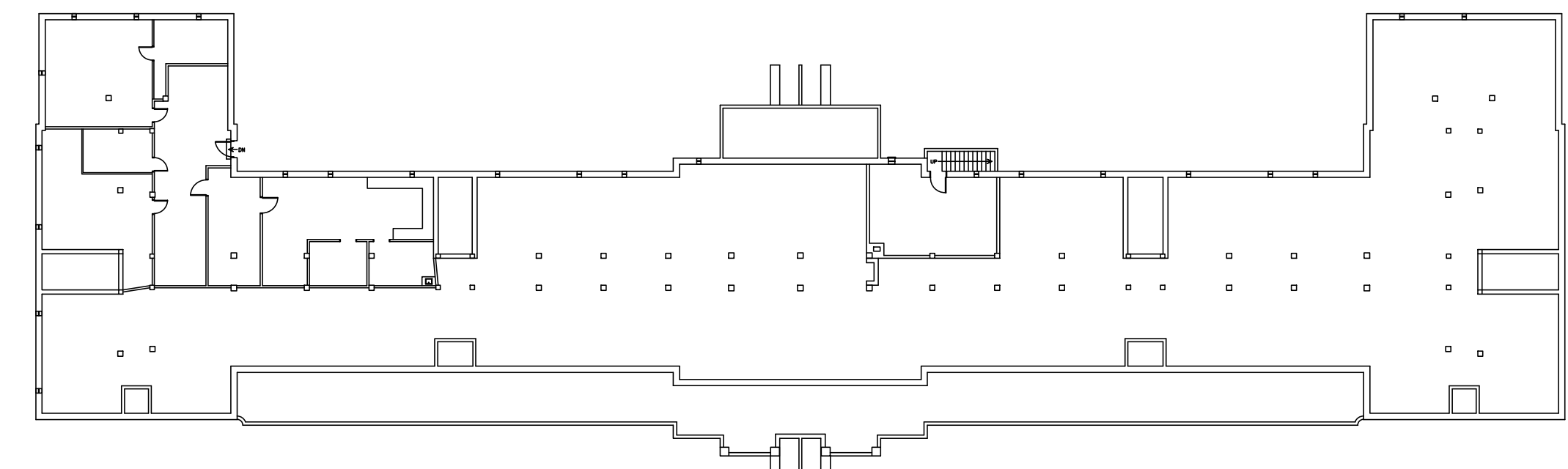
B2 ATTIC KEY PLAN (REFER TO MEP)

NOT TO SCALE



A1 1ST FLOOR OVERALL LIFE SAFETY PLAN

SCALE: 1/16" = 1'-0"



A2 BASEMENT KEY PLAN (REFER TO MEP)

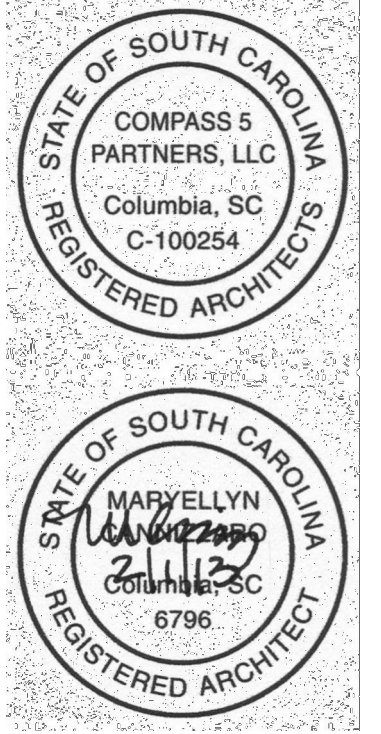
NOT TO SCALE

GENERAL LIFE SAFETY NOTES

- A. THE INFORMATION REPRESENTED WITHIN THESE LIFE SAFETY PLANS REFERENCES TWO PREVIOUS RENOVATIONS OF THE BUILDING:
 - OSE PROJECT NUMBER: H27-2048-NA
PRESTON COLLEGE HVAC RENOVATION - PHASE II
PERFORMED BY GKM ASSOCIATES, INC.
MARCH 5, 2009
 - OSE PROJECT NUMBER: H27-6050-LC
PRESTON COLLEGE FIRE PROTECTION / RENOVATION
PERFORMED BY MILES ENGINEERING ASSOCIATES, INC.
JANUARY 20, 2009
- B. EXISTING EMERGENCY BACK-UP LIGHTING, EXIT LIGHTS, EXIT SIGNS AND SMOKE/FIRE ALARMS TO REMAIN.
- C. ALL EXISTING PARTITIONS INDICATED TO BE RATED WITHIN THE PROJECT BOUNDARIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. NO WORK IS TO BE PERFORMED WITHIN RATED SHAFT LOCATIONS.
- D. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL LIFE SAFETY ITEMS FOR ALL DIVISIONS INDICATED THROUGHOUT COMPLETE DRAWINGS AND SPECIFICATIONS.
- E. FIRST FLOOR GROSS SQUARE FOOTAGE = 20,680 GSF
- F. SECOND FLOOR GROSS SQUARE FOOTAGE = 20,680 GSF
- G. THIRD FLOOR GROSS SQUARE FOOTAGE = 20,680 GSF

LEGEND

- 1 HOUR FIRE RATING
- ☐ FIRE ALARM SYSTEM HORN AND STROBE COMBINATION
- ☐ FIRE ALARM SYSTEM HORN
- ☐ FIRE ALARM SYSTEM STROBE
- ☐ SMOKE DETECTOR - PHOTOELECTRIC TYPE
- ☐ MANUAL PULL STATION



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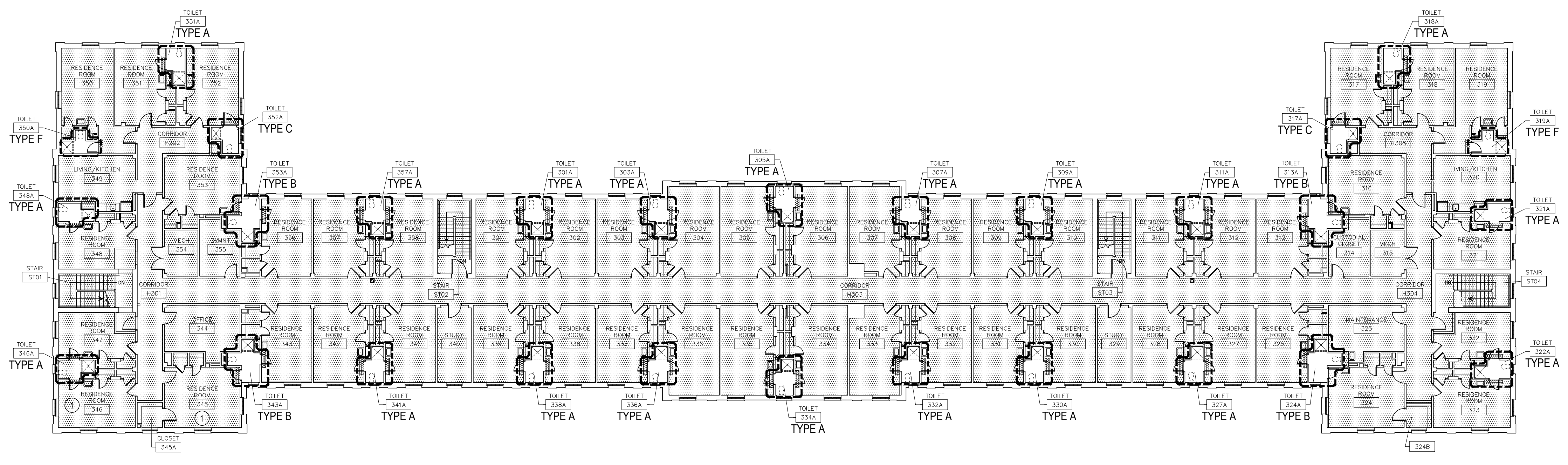
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OSE CD SUBMITTAL	01/16/13
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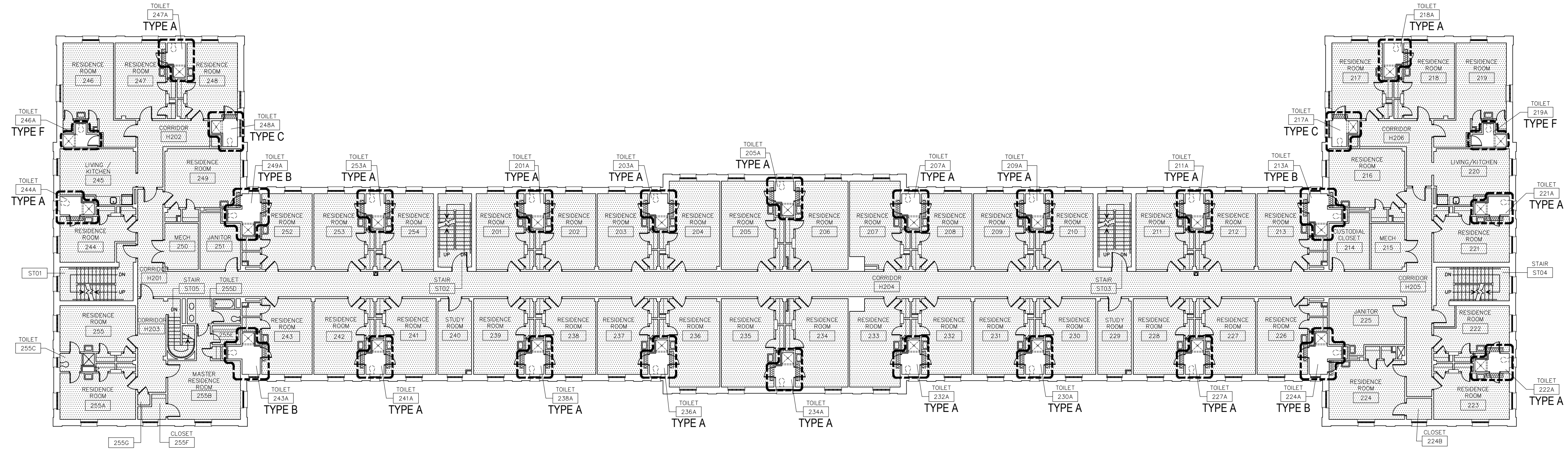
OVERALL LIFE SAFETY PLANS

Date:	01-24-13	G100
Drawn:	BRB	
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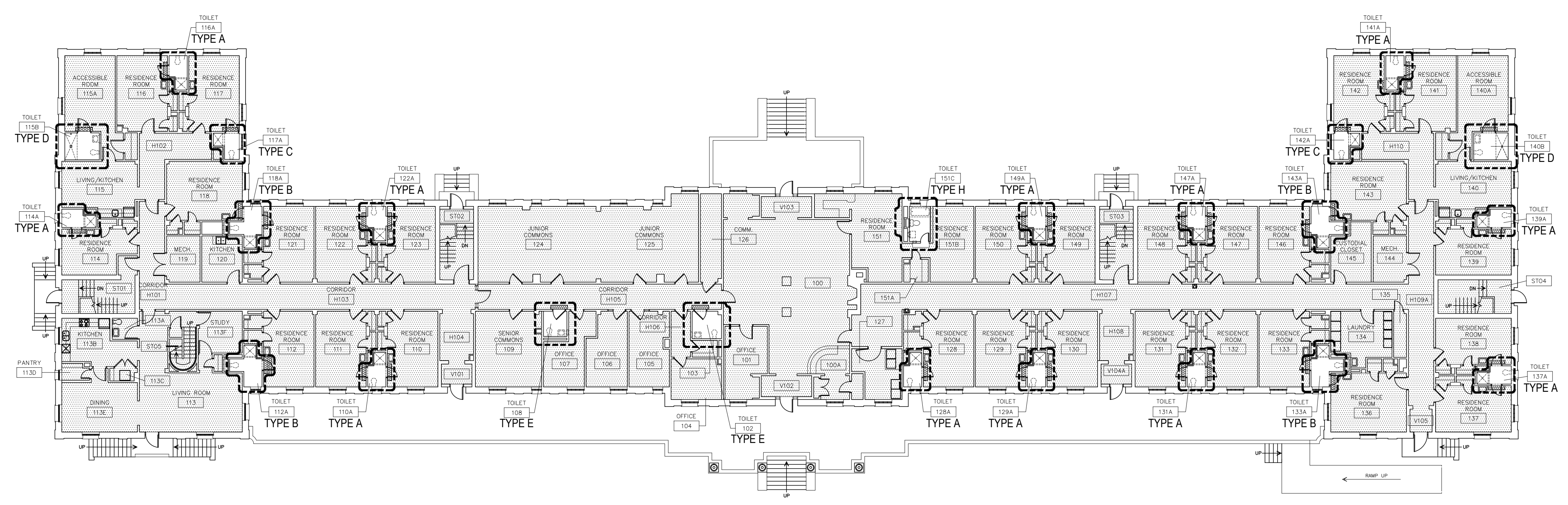
C1 3RD FLOOR OVERALL DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



B1 2ND FLOOR OVERALL DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



A1 1ST FLOOR OVERALL DEMOLITION PLAN

SCALE: 1/16" = 1'-0"

DEMOLITION NOTES

- EXISTING DOORS, FRAMES, HARDWARE, AND WINDOWS TO REMAIN UNLESS NOTED OTHERWISE.
- REFER TO ENLARGED TYPICAL TOILET PLANS FOR DEMOLITION IN ALL TOILET ROOMS. SCOPE INCLUDES REMOVAL OF SHOWER ENCLOSURE, FLOORING, PLASTER, DRYWALL, AND RENOVATED MATERIALS TO BLOCK/BRICK SUBSTRATE, AND CEILING COMPLETE. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING.
- REMOVE TRIM AT ALL WINDOWS ON FIRST AND SECOND FLOORS. REFER TO DETAILS ON SHEET A500.
- REFER TO ALTERNATE #1 FOR COMPREHENSIVE REPLACEMENT OF FLOORING IN RESIDENCE ROOM, SHEET AD100 & AD101.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR MEP WORK AND COORDINATION.

PROTECTION OF EXISTING

- PROVIDE AND MAINTAIN 6 MIL POLY BARRIER AND 1/4" MASONITE PANELS (OR OTHER METHOD AS APPROVED BY ARCHITECT) TO PROTECT EXISTING INSTALLED FINISHES (FLOOR, WALL AND CEILING) COMPLETE ON ALL PATHWAYS FROM TOILET ROOM WORK AREAS TO DUMPSTERS.

GENERAL DEMOLITION NOTES

- BEFORE BEGINNING CONSTRUCTION OR DEMOLITION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS, COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS AND REPORT INCONSISTENCIES TO THE OWNER & ARCHITECT IMMEDIATELY.
- THE EXTENT OF DEMOLITION INDICATED IS BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND FIELD OBSERVATIONS. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT AS SOON AS DISCREPANCIES ARE DISCOVERED.
- THIS DRAWING SHOWS THE GENERAL EXTENT OF DEMOLITION TO BE PERFORMED, ALL ITEMS DASHED ARE TO BE REMOVED COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARY, CONTRACTOR SHALL INCLUDE ALL DEMOLITION, CUTTING AND PATCHING REQUIRED FOR NEW CONSTRUCTION. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION PLANS FOR ADDITIONAL ITEMS TO BE REMOVED OR RELOCATED.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR DEMOLITION AND COORDINATION.
- REFER TO PROJECT MANUAL FOR SITE ACCESS, DEBRIS REMOVAL AND SAFETY PRECAUTIONS.
- REFER TO PROJECT MANUAL FOR OWNER REQUIREMENTS FOR UTILITY OUTAGES. CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL INTERRUPTION OF UTILITIES AND/OR DAILY OPERATIONS WITH THE OWNER IN WRITING.
- DEMOLITION WORK WHICH REQUIRES ACCESS TO OCCUPIED SPACES OUTSIDE OF THE PROJECT AREA SHALL BE SCHEDULED WITH THE OWNER. REFER TO PROJECT MANUAL FOR WRITTEN NOTICE REQUIREMENTS.
- IF THE CONTRACTOR ENCOUNTERS MATERIAL BELIEVED TO BE ASBESTOS OR LEAD, WORK SHALL IMMEDIATELY STOP IN THE AFFECTED AREA. THE CONDITION SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ARCHITECT IN WRITING. WORK IN THE AFFECTED AREA SHALL NOT BE RESUMED EXCEPT BY WRITTEN AGREEMENT BETWEEN THE OWNER AND CONTRACTOR IF THE MATERIAL IN QUESTION IS ASBESTOS OR LEAD AND HAS NOT BEEN DECLARED HARMLESS.
- THE CONTRACTOR SHALL INSPECT BOTH SIDES OF EXISTING WALLS, CEILINGS AND FLOOR ASSEMBLIES AND REPAIR/REPLACE AS REQUIRED TO MAINTAIN EXISTING RATINGS. REFER TO C100 LIFE SAFETY PLAN FOR LOCATIONS OF RATED WALLS AND SMOKE RESISTIVE CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS OR FLOORS WITH APPLICABLE ELECTRICAL, MECHANICAL, PLUMBING, EQUIPMENT AND/OR PIPING DRAWINGS.
- THE CONTRACTOR IS TO SEAL ALL HOLES LEFT AFTER REMOVAL/REPLACEMENT OF PIPES, CONDUITS AND DUCTS ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND SEALANTS.
- ALL REMAINING MATERIALS ADJACENT TO AREAS OF DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH EXISTING FINISHES. NOTE: FINISHES NEED TO EXTEND TO A LOGICAL STOPPING POINT I.E. CORNER, EDGE OF WALL, FLOOR, CEILING ETC.
- WHERE EXISTING WALL OR FLOOR SYSTEMS ARE TO REMAIN AND ARE DISTURBED BY DEMOLITION, THEY SHALL BE REPAIRED AS REQUIRED TO MATCH ORIGINAL INTEGRITY AND ADJACENT CONSTRUCTION.
- ITEMS TO BE REMOVED OF SALVAGEABLE VALUE ARE TO REMAIN THE PROPERTY OF THE OWNER TO BE DISPOSED OF AT THEIR DISCRETION. ANY SALVAGEABLE ITEMS GIVEN TO THE CONTRACTOR MUST BE REMOVED FROM THE SITE. ITEMS TO REMAIN THE PROPERTY OF THE OWNER SHALL BE STORED ON-SITE BY THE CONTRACTOR AT THE OWNER'S DISCRETION.
- INTERIM FIRE-STOPPING IS TO BE PROVIDED FOR ALL ABANDONED OR NEWLY CREATED PENETRATIONS THROUGH THE EXISTING FLOOR SLAB OR STRUCTURAL DECK ABOVE AND SHALL BE MAINTAINED UNTIL PERMANENT FIRE-STOPPING IS IN PLACE. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS.
- EXISTING FIRE-RATED ASSEMBLIES SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THIS PROJECT. REPAIR OF EXISTING HOLES, CRACKS OR OTHER BREACHES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS SHALL CONFORM TO THE APPROPRIATE UL RATED ASSEMBLY CONSISTENT WITH THE REQUIRED RATING IN THE AREA OF CONSTRUCTION AND/OR ADJACENT AREAS.
- ALL EXISTING ITEMS SCHEDULED TO REMAIN (ANY DISCIPLINE) WHICH ARE EXPOSED DUE TO DEMOLITION SHALL BE RELOCATED TO REMAIN COVERED BY FINISHED WORK.
- CONTRACTOR TO REMOVE ALL ABANDONED MATERIALS OR FIXTURES TO INCLUDE UNNECESSARY PIPING, DUCT, WIRING AND/OR CONDUIT COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARIES. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS.
- AREAS SHOWING THE REMOVAL OF WALLS SHALL BE PROPERLY SHORED UP IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHICH AREAS ARE TO BE SHORED.
- REMOVE ALL EXISTING APPURTENANCES (TOWEL DISPENSERS, TOILETS ACCESSORIES, TOWEL RACKS, HOOKS, GRAB BARS, ETC.) IN THE AREA OF CONSTRUCTION AND TURN OVER TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WRAPPING AND PROTECTING EXISTING FURNITURE, FURNITURE STORAGE TO BE IN LOCATIONS THAT DO NOT INTERFERE WITH MEANS OF EGRESS AND OTHER LIFE SAFETY PROVISIONS. REFER TO SPECIFICATIONS.
- RETRACT, WRAP, AND PROTECT IN PLACE ALL EXISTING WINDOW BLINDS COMPLETE.
- EXISTING TOILET ROOM SHAFTS TO REMAIN INTACT. SCOPE OF WORK DOES NOT INCLUDE COMPREHENSIVE UPGRADE TO SHAFTS BEYOND WORK ASSOCIATED WITH SHOWER VALVE, SHOWER HEAD, AND RELATED SYSTEMS REPLACEMENT.
- REFER TO SHEETS AD111 AND AD112 FOR ENLARGED DEMOLITION PLANS.

TOILET ROOM COUNT 3RD FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	301, 303, 305, 307, 309, 311, 318, 321, 322, 327, 330, 332, 334, 336, 341, 346, 348, 351, 357
B	4	313, 324, 343, 353
C	2	317, 352
D	0	-
E	0	-
F	2	319, 350
G	0	NOT USED
H	0	-
TOTAL	28	

TOILET ROOM COUNT 2ND FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	201, 203, 205, 207, 209, 211, 218, 221, 222, 227, 234, 232, 234, 236, 238, 241, 244, 247, 253, 255C
B	4	213, 224, 243, 249
C	2	217, 248
D	0	-
E	0	-
F	2	219, 246
G	0	NOT USED
H	0	-
TOTAL	29	

TOILET ROOM COUNT 1ST FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	12	110, 114, 116, 122, 128, 129, 131, 137, 139, 141, 147, 149
B	4	112, 118, 133, 143
C	2	117, 142
D	2	115, 140
E	2	102, 108
F	0	-
G	0	NOT USED
H	1	151
TOTAL	23	

LEGEND

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).
- BASE BID - VCT/CARPET FLOOR REPAIR
- EXISTING CONSTRUCTION TO BE REMOVED/ALTERED.

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University of South Carolina

Preston College Bathroom & Flooring Renovations
 H27-6086-SG Columbia, SC

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 Project Number: 1238 ULH

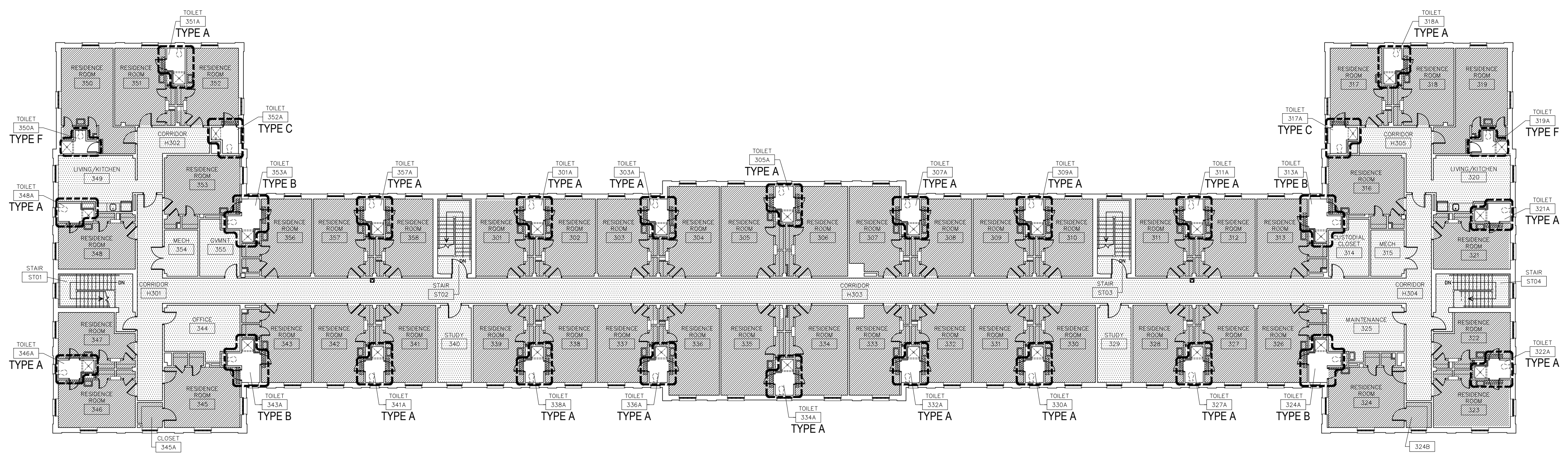
REVISIONS

OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

OVERALL DEMOLITION PLANS

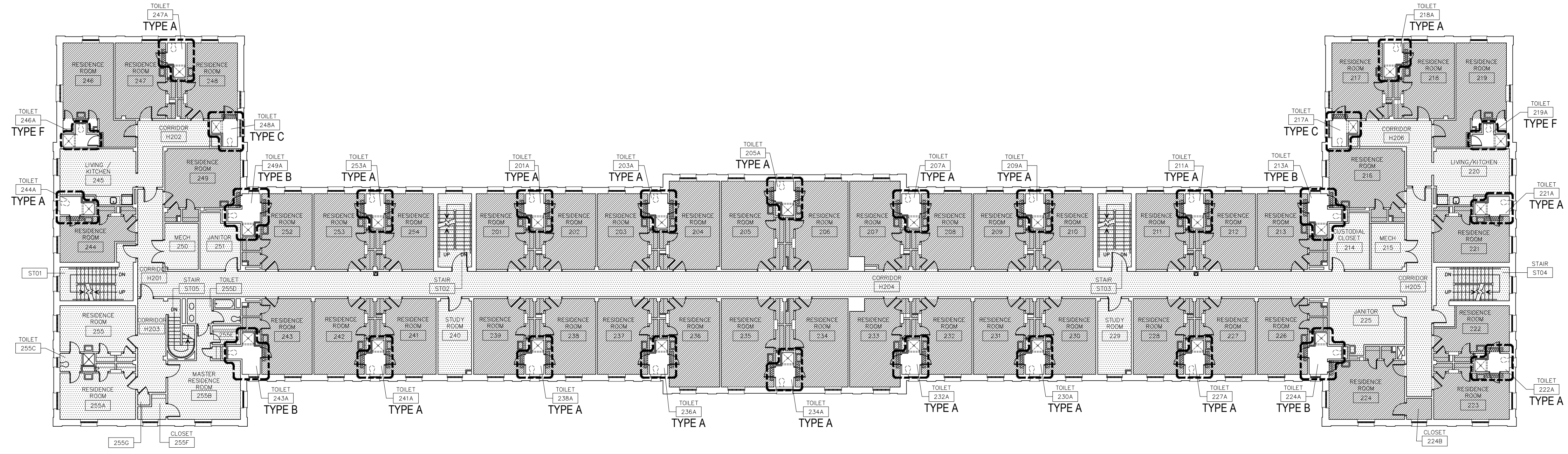
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AD100



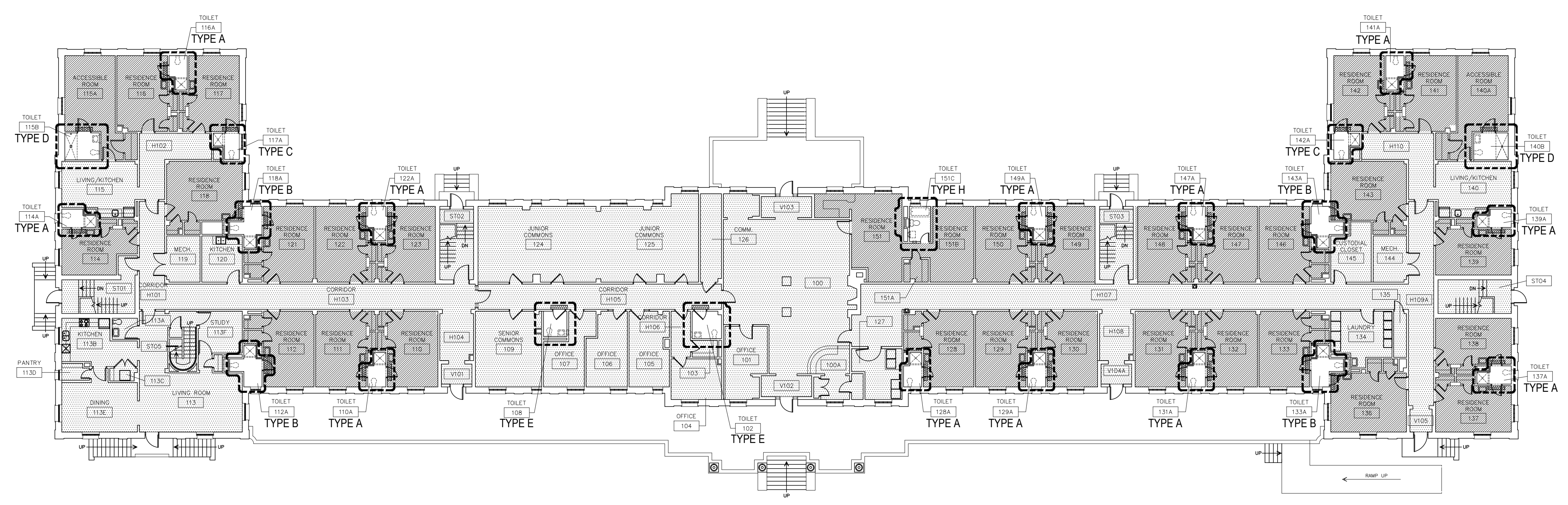
C1 3RD FLOOR OVERALL DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



B1 2ND FLOOR OVERALL DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



A1 1ST FLOOR OVERALL DEMOLITION PLAN

SCALE: 1/16" = 1'-0"

DEMOLITION NOTES

- EXISTING DOORS, FRAMES, HARDWARE, AND WINDOWS TO REMAIN UNLESS NOTED OTHERWISE.
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- REMOVE TRIM AT ALL WINDOWS ON FIRST AND SECOND FLOORS. REFER TO DETAILS ON SHEET A500.
- REFER TO ALTERNATE #1 FOR COMPREHENSIVE REPLACEMENT OF FLOORING IN RESIDENCE ROOM, SHEET AD100 & AD101.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR MEP WORK AND COORDINATION.

PROTECTION OF EXISTING

- PROVIDE AND MAINTAIN 6 MIL POLY BARRIER AND 1/4" MASONITE PANELS (OR OTHER METHOD AS APPROVED BY ARCHITECT) TO PROTECT EXISTING INSTALLED FINISHES (FLOOR, WALL AND CEILING) COMPLETE ON ALL PATHWAYS FROM TOILET ROOM WORK AREAS TO DUMPSTERS.

ALTERNATE #1

- REMOVE FINISH VCT LAYER(S) AND MASTIC TO SUBFLOOR AT RESIDENCE ROOM AND ACCESSIBLE RESIDENCE ROOMS. AREA OF WORK INCLUDES CLOSETS.
 - REMOVE SHOE MOLDING.
 - PROVIDE 18" LUALIN UNDERLAYMENT.
 - PROVIDE LIT #1: MANNINGTON NATURE'S PATH SELECT CENTURY CHERRY - SPICY OILER 12151 5X48" PLANKS INSTALLED PARALLEL TO CORRIDOR ENTRY THRESHOLD.
 - REPLACE DOOR THRESHOLD AT CORRIDOR ENTRY DOOR TO RESIDENCE ROOM FOR 10 LOCATIONS TO BE SELECTED BY ARCHITECT. PROVIDE ALUMINUM 1" CLAMHELL THRESHOLD.
 - PROVIDE SHOE MOLDING COMPLETE. PRIME AND PAINT SHOE MOULD TO INCLUDE BASE BOARDS.
- SEE AD101, A101, B1/A504, A601, A602, A603 FOR WORK INCLUDED IN THIS ALTERNATE. SEE SPECIFICATIONS

TOILET ROOM COUNT 3RD FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	301, 303, 305, 307, 309, 311, 318, 321, 322, 327, 330, 332, 334, 336, 341, 346, 348, 351, 357
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C	2	317, 352
D	0	-
E	0	-
F	2	319, 350
G	0	NOT USED
H	0	-
TOTAL	28	

TOILET ROOM COUNT 2ND FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	201, 203, 205, 207, 209, 211, 218, 221, 222, 227, 234, 232, 234, 236, 238, 241, 244, 247, 253, 255C
B	4	213, 224, 243, 249
C	2	217, 248
D	0	-
E	0	-
F	2	219, 246
G	0	NOT USED
H	0	-
TOTAL	29	

TOILET ROOM COUNT 1ST FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	12	110, 114, 116, 122, 128, 129, 131, 137, 139, 141, 147, 149
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- RETRACT, WRAP, AND PROTECT IN PLACE ALL EXISTING WINDOW BLINDS COMPLETE.
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- REFER TO SHEETS AD111 AND AD112 FOR ENLARGED DEMOLITION PLANS.

LEGEND

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).
- BASE BID - VCT/CARPET FLOOR REPAIR
- EXISTING CONSTRUCTION TO BE REMOVED/ALTERED.
- ALTERNATE #1

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 COMPASS 5 PARTNERS, LLC
 REGISTERED ARCHITECT
 C-100254
 COLUMBIA, SC

STATE OF SOUTH CAROLINA
 MARY ELLYN WATKINS
 REGISTERED ARCHITECT
 6796
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University of South Carolina

Preston College Bathroom & Flooring Renovations
 H27-6086-SG Columbia, SC

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 Project Number: 1238 ULH

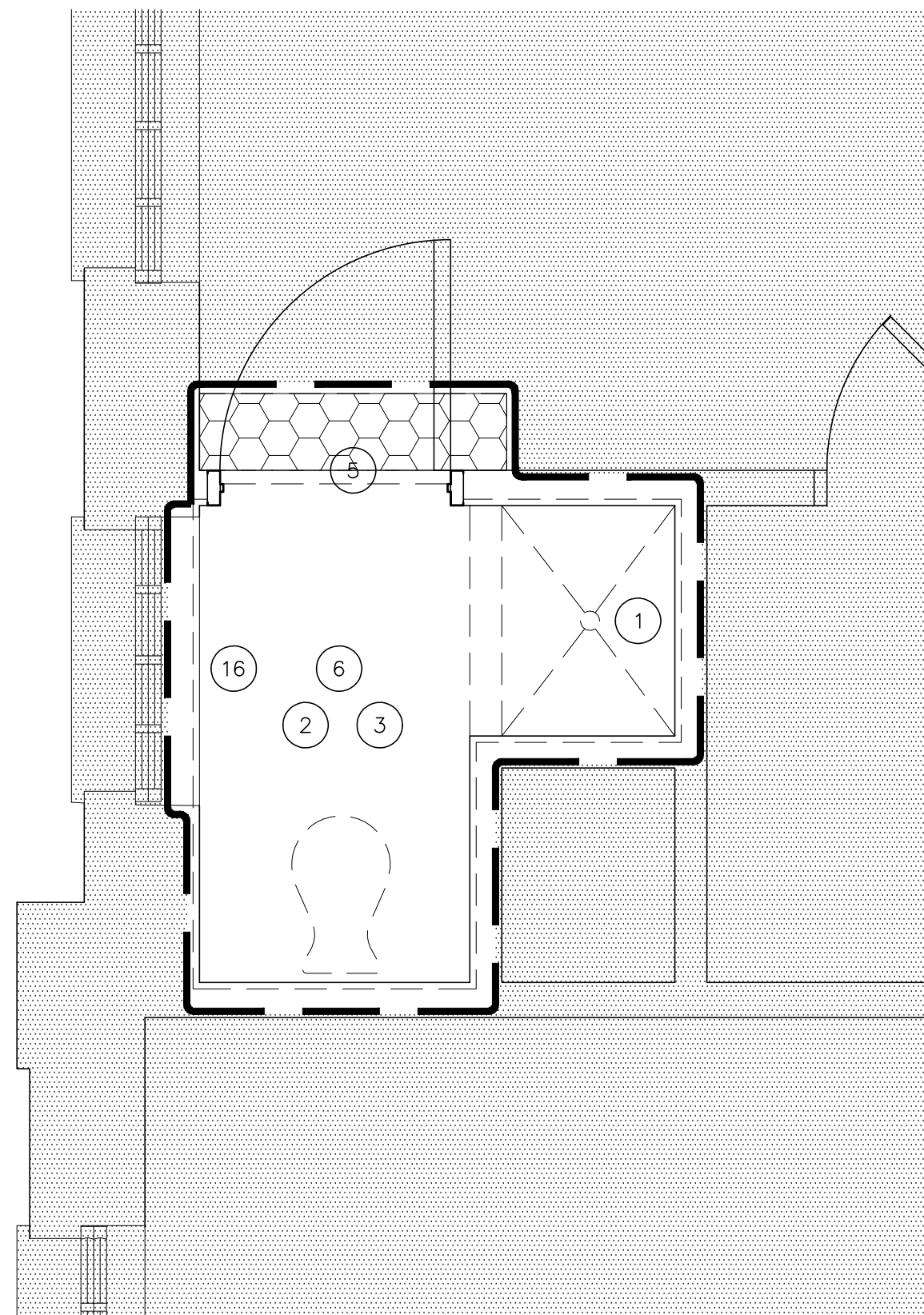
REVISIONS

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OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

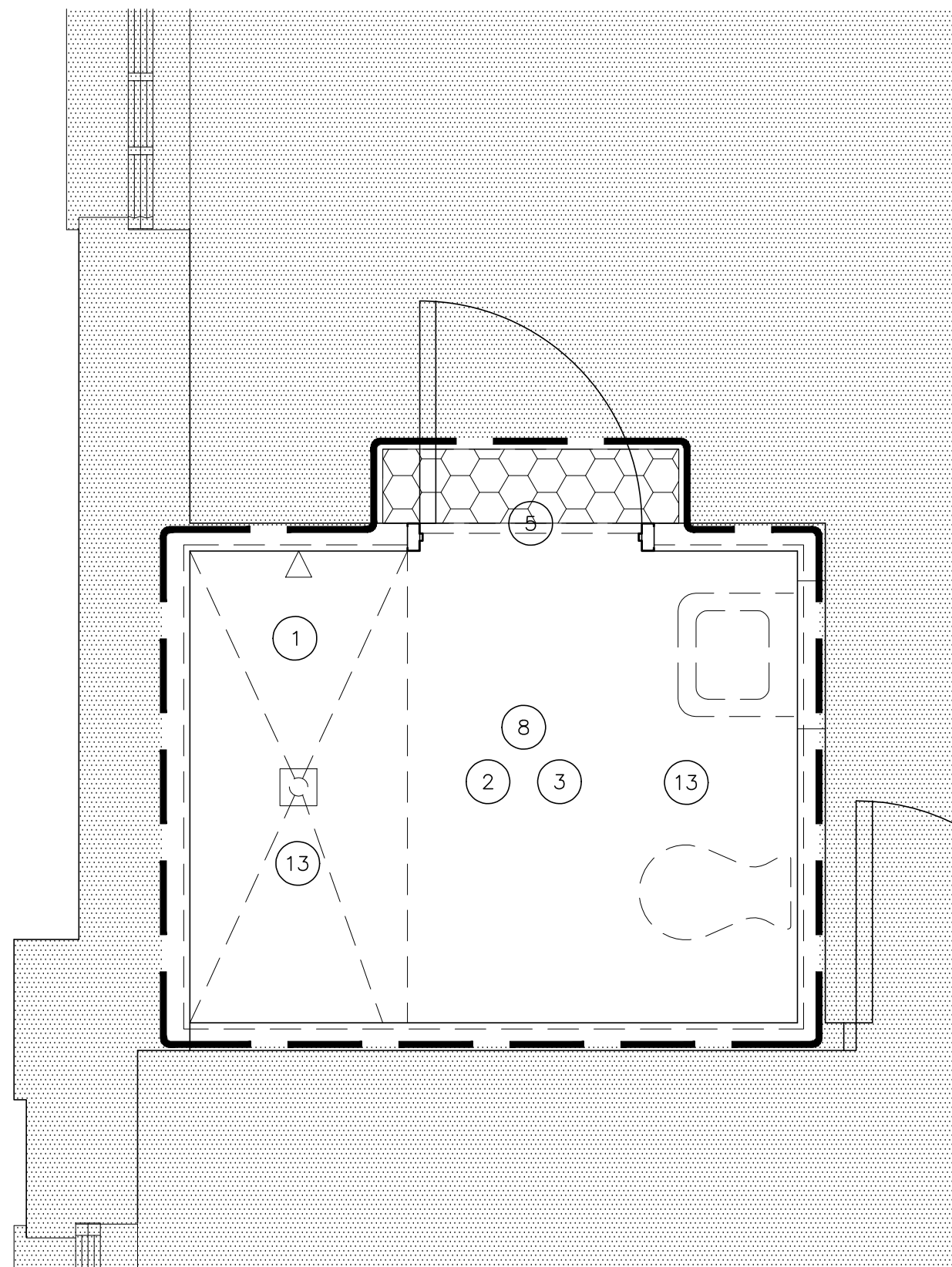
ALTERNATE #1 DEMOLITION PLANS

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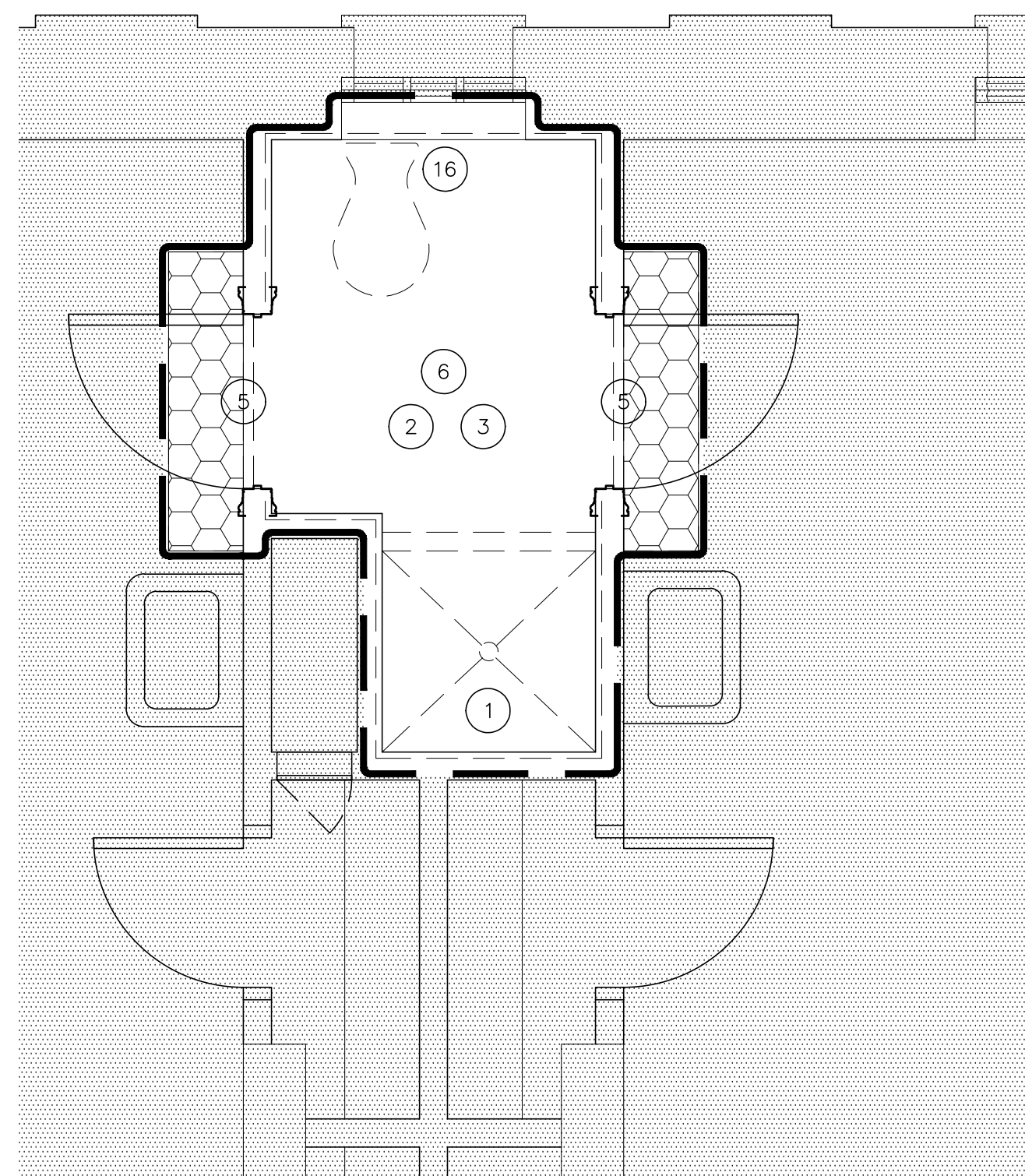
AD101



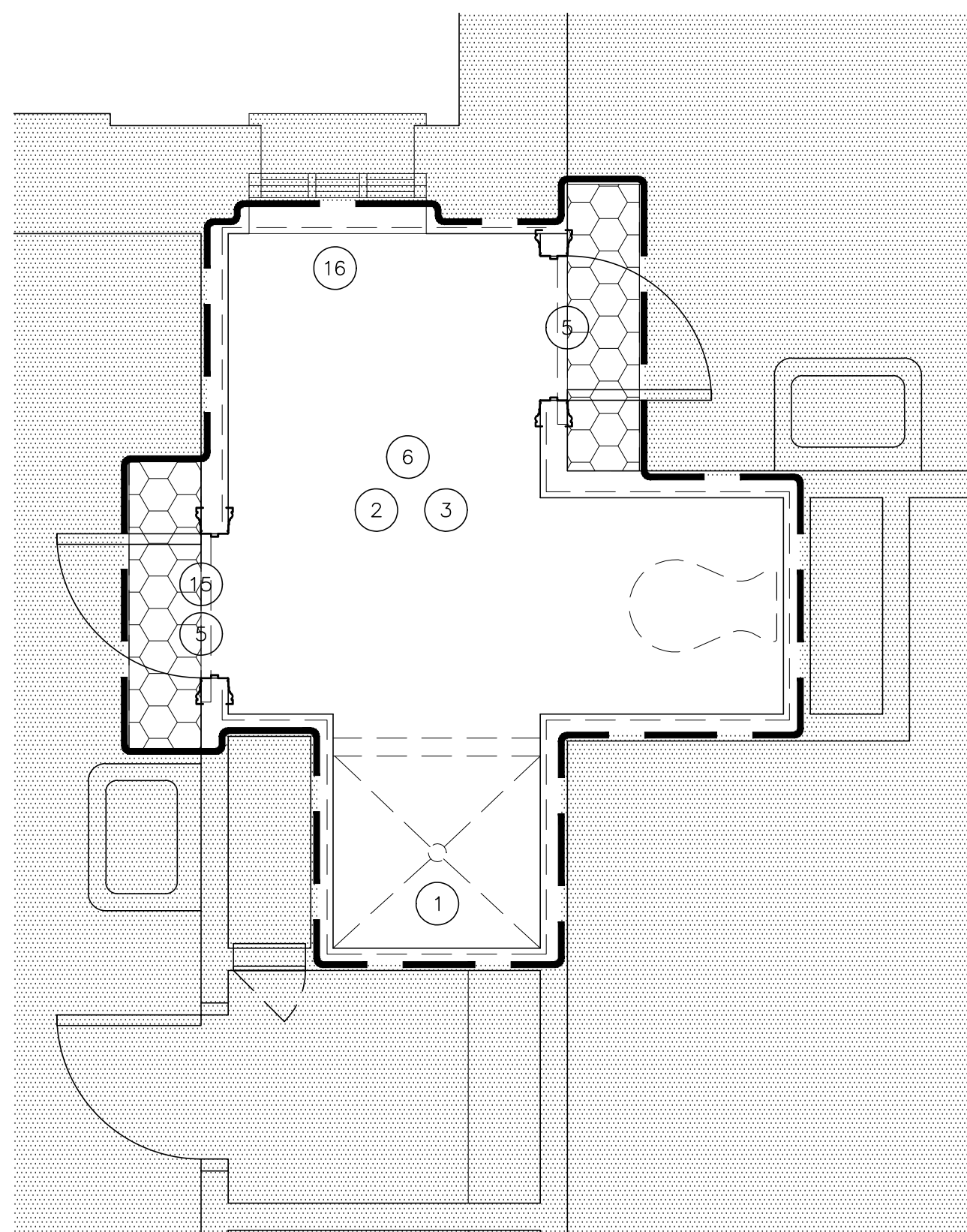
B1 TYP. TOILET TYPE "C" DEMOLITION
 SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 142A
 SIMILAR: 217A, 317A
 OPPOSITE HAND: 117A, 248A, 352A



B2 TYP. TOILET TYPE "D" DEMOLITION
 SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 115B
 OPPOSITE HAND: 140B



A1 TYP. TOILET TYPE "A" DEMOLITION
 SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 122A
 SIMILAR: 116A, 137A, 139A, 147A, 149A, 201A, 203A, 205A, 207A, 209A, 211A, 221A, 222A, 244A, 247A, 253A, 255C, 301A, 303A, 305A, 307A, 309A, 311A, 321A, 322A, 346A, 348A, 351A, 357A
 OPPOSITE HAND: 110A, 114A, 128A, 129A, 131A, 141A, 216A, 227A, 230A, 232A, 234A, 236A, 238A, 241A, 318A, 327A, 330A, 332A, 334A, 336A, 338A, 341A



A2 TYP. TOILET TYPE "B" DEMOLITION
 SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 143A
 SIMILAR: 118A, 213A, 243A, 313A, 343A
 OPPOSITE HAND: 112A, 133A, 224A, 249A, 324A, 353A

DEMOLITION NOTES

- EXISTING DOORS, FRAMES, HARDWARE, AND WINDOWS TO REMAIN UNLESS NOTED OTHERWISE.
- REFER TO ENLARGED TYPICAL TOILET PLANS FOR DEMOLITION IN ALL TOILET ROOMS. SCOPE INCLUDES REMOVAL OF SHOWER ENCLOSURE, FLOORING, PLASTER, DRYWALL, AND RENOVATED MATERIALS TO BLOCK/BRICK SUBSTRATE, AND CEILING COMPLETE. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING.
- REMOVE TRIM AT ALL WINDOWS ON FIRST AND SECOND FLOORS. REFER TO DETAILS ON SHEET A500.
- REFER TO ALTERNATE #1 FOR COMPREHENSIVE REPLACEMENT OF FLOORING IN RESIDENCE ROOM, SHEET AD100 & AD101.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MEP WORK AND COORDINATION.

1 KEYED DEMOLITION NOTES

- REMOVE EXISTING SHOWER COMPLETE TO EXISTING BLOCK WALL SUBSTRATE AND EXISTING SUBFLOOR, INCLUDING BUT NOT LIMITED TO, SETTING BEDS, FLOOR TILE, WALL TILE, SHOWER BASIN/PAN, FIBERGLASS SURROUNDS, ETC.
- REMOVE EXISTING LAYER OF FLOOR TILE(S) TO TOP LAYER OF PORCELAIN MOSAIC TILE CONSTRUCTION AND MORTAR BED. REMOVE ANY LOOSE TILES AND GROUT. EXTENDS TO RESIDENCE ROOM SIDE OF DOOR FRAME.
- REMOVE EXISTING WALL TILE, TILE SUBSTRATE, WOOD TRIM, PLASTER AND/OR GWB TO FACE OF EXISTING BLOCK WALL/FRAMING SUBSTRATE AT TOILET ROOM WALLS & SHOWERS COMPLETE. REMOVAL SHALL EXTEND TO BOTTOM OF DECK.
- REMOVE SURFACE MOUNTED ELECTRICAL CONDUIT. REFER TO ELECTRICAL DEMO DRAWINGS.
- REMOVE THRESHOLD AT DOOR, REMOVE SECTION OF VCT AND SUBFLOOR TO CONCRETE DECK IN RESIDENCE ROOM. AVERAGE REMOVAL NOT TO EXCEED 5 SQ.FT. SEE DETAIL A1A2/A504.
- REMOVE ACOUSTICAL CEILING TILE, GRID, HANGARS, ACCESSORIES, AND ALL FIXTURES AND GRILLES.
- REMOVE TUB AND SURROUND COMPLETE. SEE PLUMBING DRAWINGS FOR DEMOLITION.
- EXISTING GWB CEILING TO REMAIN. REWORK AS REQUIRED TO RECEIVE NEW WALLS. SEE RENOVATION PLANS.
- REMOVE RECESSED COMBO PAPER TOWEL DISPENSER / WASTE RECEPTACLE.
- EXISTING CABINET TO REMAIN.
- REMOVE MEDICINE CABINET.
- REMOVE WALL HEATER. REFER TO ELECTRICAL AND MECHANICAL DEMOLITION DRAWINGS.
- REMOVE FLOOR SLAB AS REQUIRED TO RECEIVE NEW FLOOR DRAIN. SEE PLUMBING.
- REMOVE THRESHOLD AT DOOR. THROUGHOUT DEMOLITION, PULL BACK AND PROTECT CARPET AT DOOR THRESHOLDS.
- IN ROOM 112 REMOVE A 2'x4' AREA OF CARPET AND SUBSTRATE AT DOOR THRESHOLD. SIMILAR TO DETAILS A1 AND A2/A504.
- CLEANLY REMOVE EXISTING STOOL, APRON, TRIM, AND ANY ASSOCIATED MOLDING ON FACE OF EXTERIOR WALL. PRESERVE APRON AND STOOL FOR PUTBACK. EXISTING WINDOW SILL TO REMAIN IN PLACE.

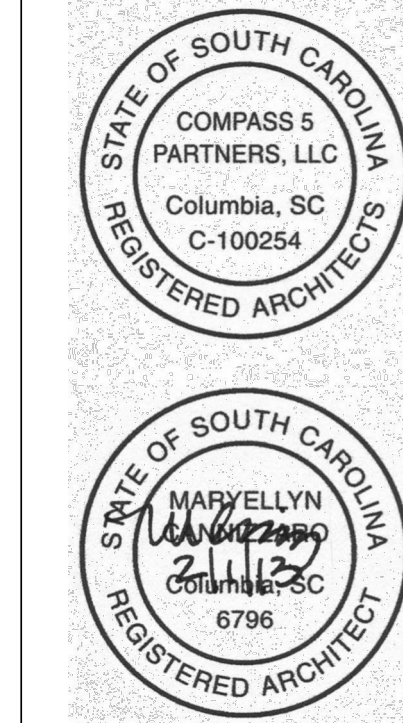
CLEANLY REMOVE TRIM AT ALL TOILET ROOM WINDOWS WHERE EXISTING TRIM IS CUT (TYPICAL FOR FIRST AND SECOND FLOORS). CONTRACTOR TO FIELD VERIFY.
- REMOVE TILE AT WINDOW BOX COMPLETE.

GENERAL DEMOLITION NOTES

- BEFORE BEGINNING CONSTRUCTION OR DEMOLITION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS, COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS AND REPORT INCONSISTENCIES TO THE OWNER & ARCHITECT IMMEDIATELY.
- THE EXTENT OF DEMOLITION INDICATED IS BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND FIELD OBSERVATIONS. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT AS SOON AS DISCREPANCIES ARE DISCOVERED.
- THIS DRAWING SHOWS THE GENERAL EXTENT OF DEMOLITION TO BE PERFORMED. ALL ITEMS DASHED ARE TO BE REMOVED COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARY. CONTRACTOR SHALL INCLUDE ALL DEMOLITION, CUTTING AND PATCHING REQUIRED FOR NEW CONSTRUCTION. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION PLANS FOR ADDITIONAL ITEMS TO BE REMOVED OR RELOCATED.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR DEMOLITION AND COORDINATION.
- REFER TO PROJECT MANUAL FOR SITE ACCESS, DEBRIS REMOVAL AND SAFETY PRECAUTIONS.
- REFER TO PROJECT MANUAL FOR OWNER REQUIREMENTS FOR UTILITY OUTAGES. CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL INTERRUPTION OF UTILITIES AND/OR DAILY OPERATIONS WITH THE OWNER IN WRITING.
- DEMOLITION WORK WHICH REQUIRES ACCESS TO OCCUPIED SPACES OUTSIDE OF THE PROJECT AREA SHALL BE SCHEDULED WITH THE OWNER. REFER TO PROJECT MANUAL FOR WRITTEN NOTICE REQUIREMENTS.
- IF THE CONTRACTOR ENCOUNTERS MATERIAL BELIEVED TO BE ASBESTOS OR LEAD, WORK SHALL IMMEDIATELY STOP IN THE AFFECTED AREA. THE CONDITION SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ARCHITECT IN WRITING. WORK IN THE AFFECTED AREA SHALL NOT BE RESUMED EXCEPT BY WRITTEN AGREEMENT BETWEEN THE OWNER AND CONTRACTOR IF THE MATERIAL IN QUESTION IS ASBESTOS OR LEAD AND HAS NOT BEEN DECLARED HARMLESS.
- THE CONTRACTOR SHALL INSPECT BOTH SIDES OF EXISTING WALLS, CEILINGS AND FLOOR ASSEMBLIES AND REPAIR/REPLACE AS REQUIRED TO MAINTAIN EXISTING RATINGS. REFER TO C100 LIFE SAFETY PLAN FOR LOCATIONS OF RATED WALLS AND SMOKE RESISTIVE CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS OR FLOORS WITH APPLICABLE ELECTRICAL, MECHANICAL, PLUMBING, EQUIPMENT AND/OR PIPING DRAWINGS.
- THE CONTRACTOR IS TO SEAL ALL HOLES LEFT AFTER REMOVAL/REPLACEMENT OF PIPES, CONDUITS AND DUCTS ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND SEALANTS.
- ALL REMAINING MATERIALS ADJACENT TO AREAS OF DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH EXISTING FINISHES. NOTE: FINISHES NEED TO EXTEND TO A LOGICAL STOPPING POINT I.E. CORNER, EDGE OF WALL, FLOOR, CEILING, ETC.
- WHERE EXISTING WALL OR FLOOR SYSTEMS ARE TO REMAIN AND ARE DISTURBED BY DEMOLITION, THEY SHALL BE REPAIRED AS REQUIRED TO MATCH ORIGINAL INTEGRITY AND ADJACENT CONSTRUCTION.
- ITEMS TO BE REMOVED OF SALVAGEABLE VALUE ARE TO REMAIN THE PROPERTY OF THE OWNER TO BE DISPOSED OF AT THEIR DISCRETION. ANY SALVAGEABLE ITEMS GIVEN TO THE CONTRACTOR MUST BE REMOVED FROM THE SITE. ITEMS TO REMAIN THE PROPERTY OF THE OWNER SHALL BE STORED ON-SITE BY THE CONTRACTOR AT THE OWNER'S DISCRETION.
- INTERIM FIRE-STOPPING IS TO BE PROVIDED FOR ALL ABANDONED OR NEWLY CREATED PENETRATIONS THROUGH THE EXISTING FLOOR SLAB OR STRUCTURAL DECK ABOVE AND SHALL BE MAINTAINED UNTIL PERMANENT FIRE-STOPPING IS IN PLACE. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS.
- EXISTING FIRE-RATED ASSEMBLIES SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THIS PROJECT. REPAIR OF EXISTING HOLES, CRACKS OR OTHER BREACHES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS SHALL CONFORM TO THE APPROPRIATE UL RATED ASSEMBLY CONSISTENT WITH THE REQUIRED RATING IN THE AREA OF CONSTRUCTION AND/OR ADJACENT AREAS.
- ALL EXISTING ITEMS SCHEDULED TO REMAIN (ANY DISCIPLINE) WHICH ARE EXPOSED DUE TO DEMOLITION SHALL BE RELOCATED TO REMAIN COVERED BY FINISHED WORK.
- CONTRACTOR TO REMOVE ALL ABANDONED MATERIALS OR FIXTURES TO INCLUDE UNNECESSARY PIPING, DUCT, WIRING AND/OR CONDUIT COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARIES. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS.
- AREAS SHOWING THE REMOVAL OF WALLS SHALL BE PROPERLY SHORED UP IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHICH AREAS ARE TO BE SHORED.
- REMOVE ALL EXISTING APPURTENANCES (TOWEL DISPENSERS, TOILETS ACCESSORIES, TOWEL RACKS, HOOKS, GRAB BARS, ETC.) IN THE AREA OF CONSTRUCTION AND TURN OVER TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WRAPPING AND PROTECTING EXISTING FURNITURE. FURNITURE STORAGE TO BE IN LOCATIONS THAT DO NOT INTERFERE WITH MEANS OF EGRESS AND OTHER LIFE SAFETY PROVISIONS. REFER TO SPECIFICATIONS.
- RETRACT, WRAP, AND PROTECT IN PLACE ALL EXISTING WINDOW BLINDS COMPLETE.
- EXISTING TOILET ROOM SHAFTS TO REMAIN INTACT. SCOPE OF WORK DOES NOT INCLUDE COMPREHENSIVE UPGRADE TO SHAFTS BEYOND WORK ASSOCIATED WITH SHOWER VALVE, SHOWER HEAD, AND RELATED SYSTEMS REPLACEMENT.
- REFER TO SHEETS AD111 AND AD112 FOR ENLARGED DEMOLITION PLANS.

LEGEND

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).
- BASE BID - VCT/CARPET FLOOR REPAIR
- EXISTING CONSTRUCTION TO BE REMOVED/ALTERED.



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REVISIONS	
OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

ENLARGED TOILET DEMOLITION PLANS

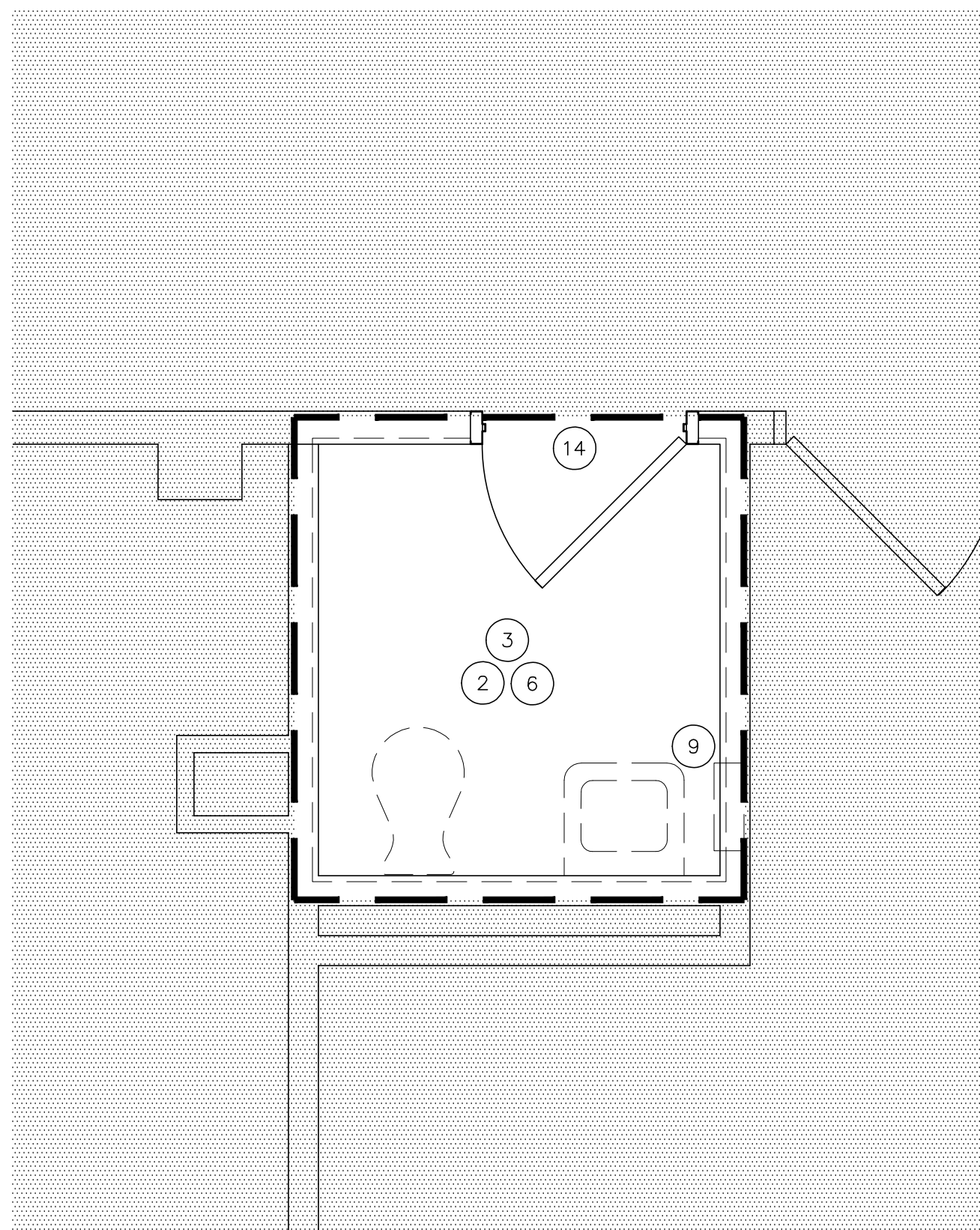
Date:	01-24-13
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AD111

NOT USED

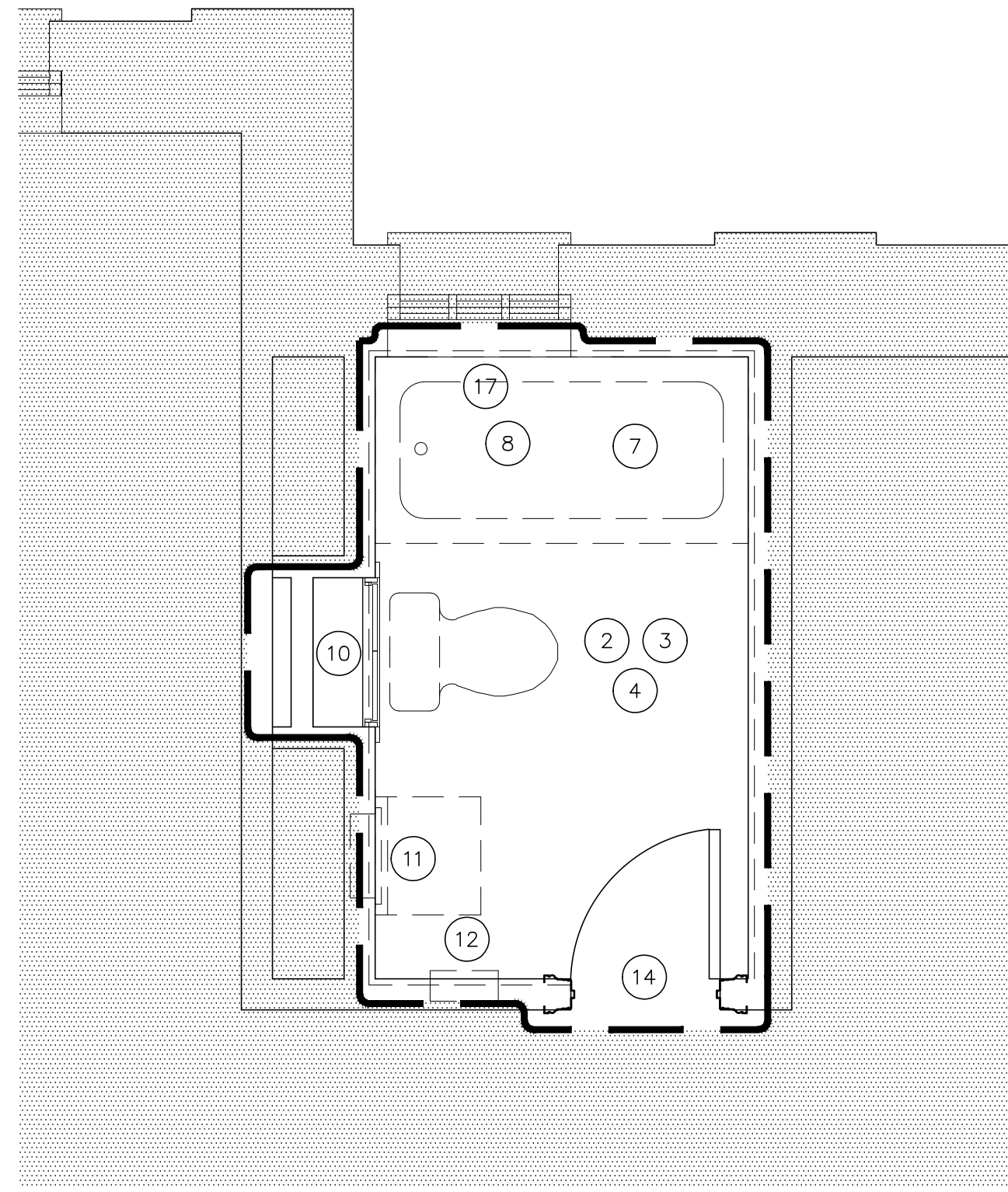
B1 TYP. TOILET TYPE "G" DEMOLITION

SCALE: 1/2" = 1'-0"
NOT USED



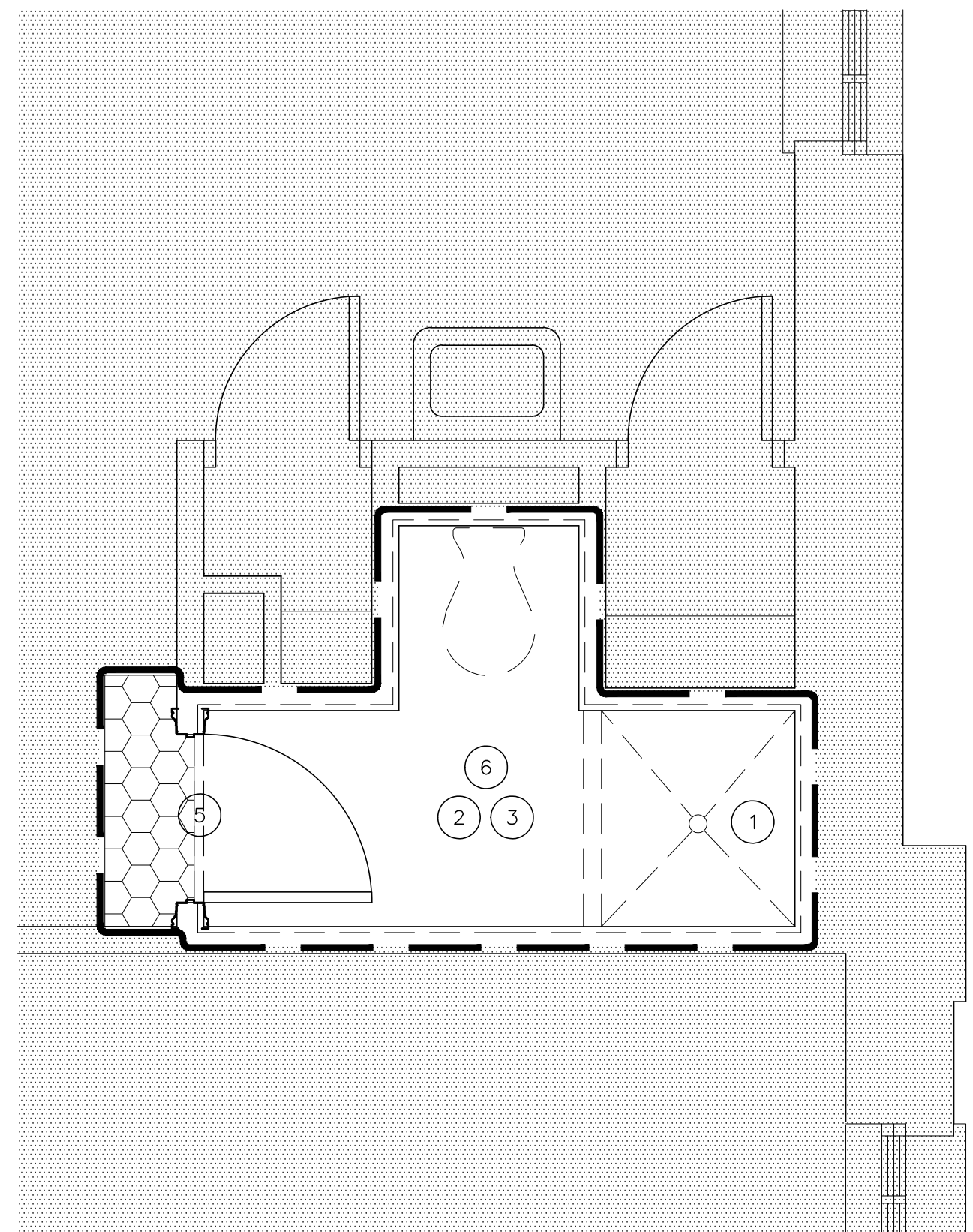
A1 TYP. TOILET TYPE "E" DEMOLITION

SCALE: 1/2" = 1'-0"
SHOWN: ROOM 108
SIMILAR: 102



B2 TYP. TOILET TYPE "H" DEMOLITION

SCALE: 1/2" = 1'-0"
SHOWN: ROOM 151C



A2 TYP. TOILET TYPE "F" DEMOLITION

SCALE: 1/2" = 1'-0"
SHOWN: ROOM 219A, 319A
OPPOSITE HAND: 246A, 350A

DEMOLITION NOTES

1. EXISTING DOORS, FRAMES, HARDWARE, AND WINDOWS TO REMAIN UNLESS NOTED OTHERWISE.
2. REFER TO ENLARGED TYPICAL TOILET PLANS FOR DEMOLITION IN ALL TOILET ROOMS. SCOPE INCLUDES REMOVAL OF SHOWER ENCLOSURE, FLOORING, PLASTER, DRYWALL, AND RENOVATED MATERIALS TO BLOCK/BRICK SUBSTRATE, AND CEILING COMPLETE. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING.
3. REMOVE TRIM AT ALL WINDOWS ON FIRST AND SECOND FLOORS. REFER TO DETAILS ON SHEET A500.
4. REFER TO ALTERNATE #1 FOR COMPREHENSIVE REPLACEMENT OF FLOORING IN RESIDENCE ROOM, SHEET AD100 & AD101.
5. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR MEP WORK AND COORDINATION.

1 KEYED DEMOLITION NOTES

- 1 REMOVE EXISTING SHOWER COMPLETE TO EXISTING BLOCK WALL SUBSTRATE AND EXISTING SUBFLOOR, INCLUDING BUT NOT LIMITED TO, SETTING BEDS, FLOOR TILE, WALL TILE, SHOWER BASIN/PAN, FIBERGLASS SURFROUNDS, ETC.
- 2 REMOVE EXISTING LAYER OF FLOOR TILE(S) TO TOP LAYER OF PORCELAIN MOSAIC TILE CONSTRUCTION AND MORTAR BED. REMOVE ANY LOOSE TILES AND GROUT. EXTENDS TO RESIDENCE ROOM SIDE OF DOOR FRAME.
- 3 REMOVE EXISTING WALL TILE, TILE SUBSTRATE, WOOD TRIM, PLASTER AND/OR GWB TO FACE OF EXISTING BLOCK WALL/FRAMING SUBSTRATE AT TOILET ROOM WALLS & SHOWERS COMPLETE. REMOVAL SHALL EXTEND TO BOTTOM OF DECK.
- 4 REMOVE SURFACE MOUNTED ELECTRICAL CONDUIT. REFER TO ELECTRICAL DEMO DRAWINGS.
- 5 REMOVE THRESHOLD AT DOOR, REMOVE SECTION OF VCT AND SUBFLOOR TO CONCRETE DECK IN RESIDENCE ROOM. AVERAGE REMOVAL NOT TO EXCEED 5 SQ.FT. SEE DETAIL A1/A2/A504.
- 6 REMOVE ACOUSTICAL CEILING TILE, GRID, HANGARS, ACCESSORIES, AND ALL FIXTURES AND GRILLES.
- 7 REMOVE TUB AND SURROUND COMPLETE. SEE PLUMBING DRAWINGS FOR DEMOLITION.
- 8 EXISTING GWB CEILING TO REMAIN. REWORK AS REQUIRED TO RECEIVE NEW WALLS. SEE RENOVATION PLANS.
- 9 REMOVE RECESSED COMBO PAPER TOWEL DISPENSER / WASTE RECEPTACLE.
- 10 EXISTING CABINET TO REMAIN.
- 11 REMOVE MEDICINE CABINET.
- 12 REMOVE WALL HEATER. REFER TO ELECTRICAL AND MECHANICAL DEMOLITION DRAWINGS.
- 13 REMOVE FLOOR SLAB AS REQUIRED TO RECEIVE NEW FLOOR DRAIN. SEE PLUMBING.
- 14 REMOVE THRESHOLD AT DOOR. THROUGHOUT DEMOLITION, PULL BACK AND PROTECT CARPET AT DOOR THRESHOLDS.
- 15 IN ROOM 112 REMOVE A 2'X4' AREA OF CARPET AND SUBSTRATE AT DOOR THRESHOLD. SIMILAR TO DETAILS A1 AND A2/A504.
- 16 CLEANLY REMOVE EXISTING STOOL, APRON, TRIM, AND ANY ASSOCIATED MOLDING ON FACE OF EXTERIOR WALL. PRESERVE APRON AND STOOL FOR PUTBACK. EXISTING WINDOW SILL TO REMAIN IN PLACE.

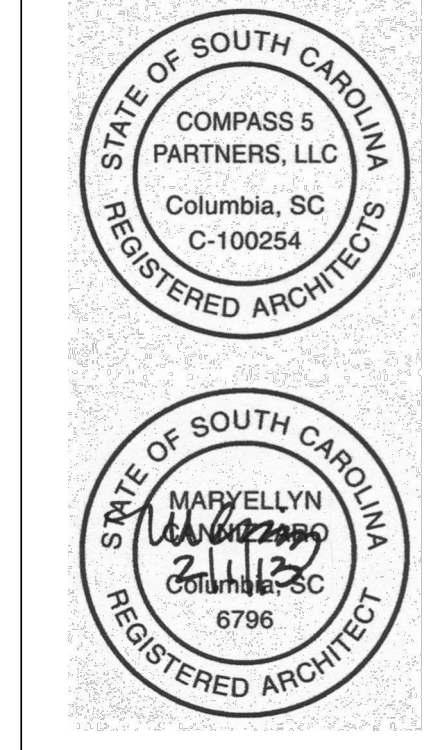
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- 17 REMOVE TILE AT WINDOW BOX COMPLETE.

GENERAL DEMOLITION NOTES

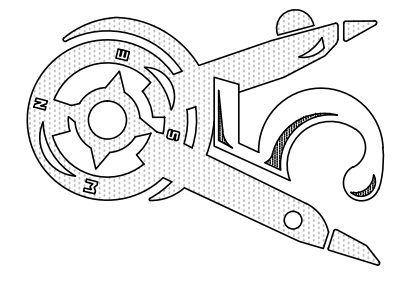
- A. BEFORE BEGINNING CONSTRUCTION OR DEMOLITION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS, COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS AND REPORT INCONSISTENCIES TO THE OWNER & ARCHITECT IMMEDIATELY.
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- J. THE CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS OR FLOORS WITH APPLICABLE ELECTRICAL, MECHANICAL, PLUMBING, EQUIPMENT AND/OR PIPING DRAWINGS.
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- L. ALL REMAINING MATERIALS ADJACENT TO AREAS OF DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH EXISTING FINISHES. NOTE: FINISHES NEED TO EXTEND TO A LOGICAL STOPPING POINT I.E. CORNER, EDGE OF WALL, FLOOR, CEILING, ETC.
- M. WHERE EXISTING WALL OR FLOOR SYSTEMS ARE TO REMAIN AND ARE DISTURBED BY DEMOLITION, THEY SHALL BE REPAIRED AS REQUIRED TO MATCH ORIGINAL INTEGRITY AND ADJACENT CONSTRUCTION.
- N. ITEMS TO BE REMOVED OF SALVAGEABLE VALUE ARE TO REMAIN THE PROPERTY OF THE OWNER TO BE DISPOSED OF AT THEIR DISCRETION. ANY SALVAGEABLE ITEMS GIVEN TO THE CONTRACTOR MUST BE REMOVED FROM THE SITE. ITEMS TO REMAIN THE PROPERTY OF THE OWNER SHALL BE STORED ON-SITE BY THE CONTRACTOR AT THE OWNER'S DISCRETION.
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- Q. ALL EXISTING ITEMS SCHEDULED TO REMAIN (ANY DISCIPLINE) WHICH ARE EXPOSED DUE TO DEMOLITION SHALL BE RELOCATED TO REMAIN COVERED BY FINISHED WORK.
- R. CONTRACTOR TO REMOVE ALL ABANDONED MATERIALS OR FIXTURES TO INCLUDE UNNECESSARY PIPING, DUCT, WIRING AND/OR CONDUIT COMPLETE, EVEN IF REMOVAL EXTENDS BEYOND THE DESIGNATED SPACE AND/OR PROJECT BOUNDARIES. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS.
- S. AREAS SHOWING THE REMOVAL OF WALLS SHALL BE PROPERLY SHORED UP IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHICH AREAS ARE TO BE SHORED.
- T. REMOVE ALL EXISTING APPURTENANCES (TOWEL DISPENSERS, TOILETS ACCESSORIES, TOWEL RACKS, HOOKS, GRAB BARS, ETC.) IN THE AREA OF CONSTRUCTION AND TURN OVER TO THE OWNER.
- U. CONTRACTOR IS RESPONSIBLE FOR WRAPPING AND PROTECTING EXISTING FURNITURE, FURNITURE STORAGE TO BE IN LOCATIONS THAT DO NOT INTERFERE WITH MEANS OF EGRESS AND OTHER LIFE SAFETY PROVISIONS. REFER TO SPECIFICATIONS.
- V. RETRACT, WRAP, AND PROTECT IN PLACE ALL EXISTING WINDOW BLINDS COMPLETE.
- U. EXISTING TOILET ROOM SHAFTS TO REMAIN INTACT. SCOPE OF WORK DOES NOT INCLUDE COMPREHENSIVE UPGRADE TO SHAFTS BEYOND WORK ASSOCIATED WITH SHOWER VALVE, SHOWER HEAD, AND RELATED SYSTEMS REPLACEMENT.
- V. REFER TO SHEETS AD111 AND AD112 FOR ENLARGED DEMOLITION PLANS.

LEGEND

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).
- BASE BID - VCT/CARPET FLOOR REPAIR
- EXISTING CONSTRUCTION TO BE REMOVED/ALTERED.



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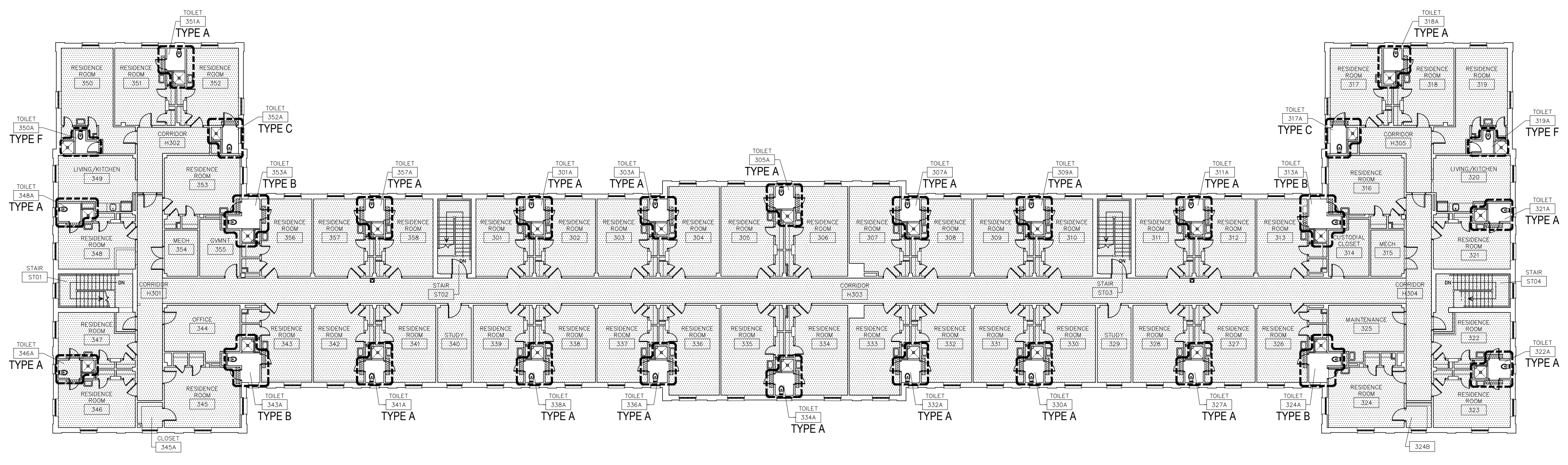
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REVISIONS	
OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

ENLARGED TOILET DEMOLITION PLANS

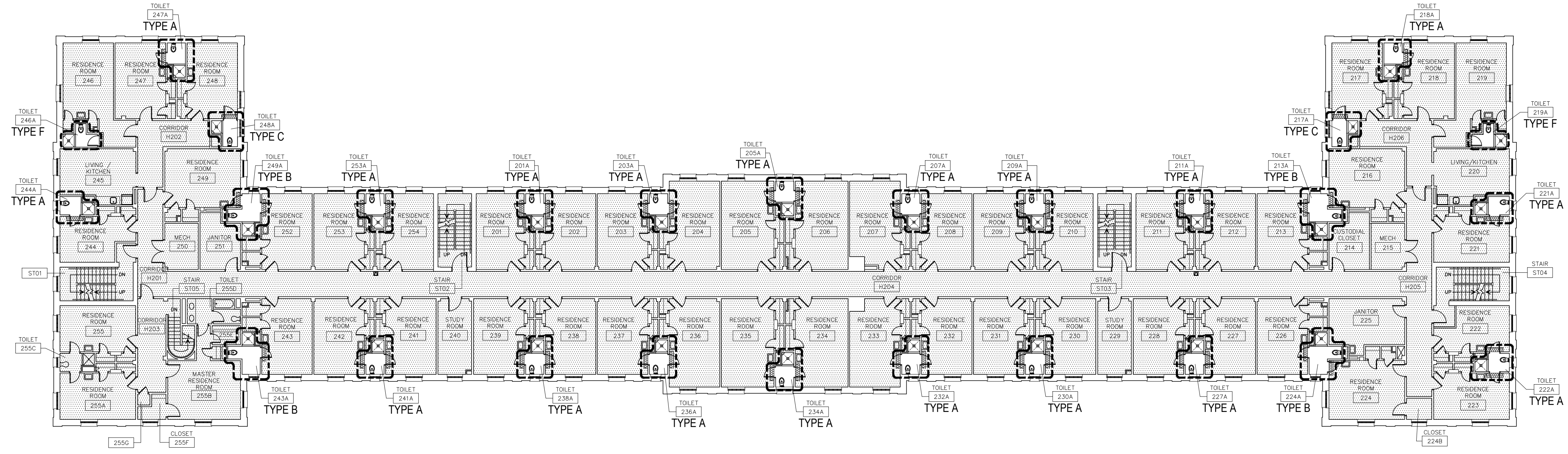
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AD112



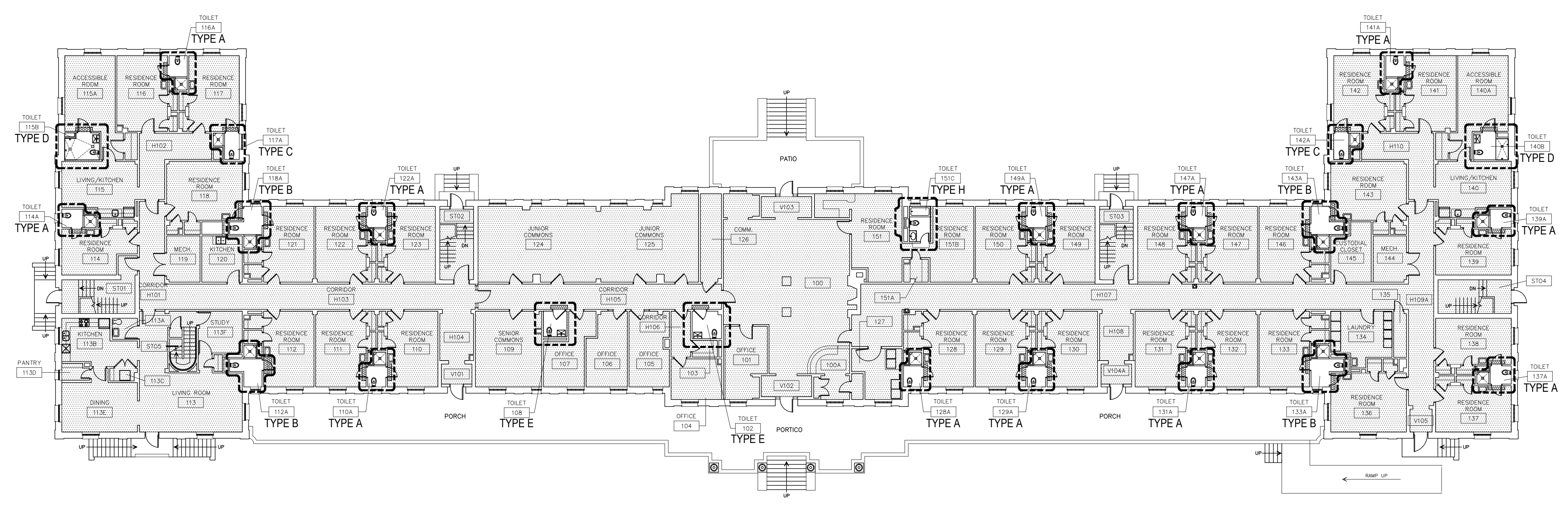
C1 3RD FLOOR OVERALL RENOVATION PLAN

SCALE: 1/16" = 1'-0"



B1 2ND FLOOR OVERALL RENOVATION PLAN

SCALE: 1/16" = 1'-0"



A1 1ST FLOOR OVERALL RENOVATION PLAN

SCALE: 1/16" = 1'-0"

RENOVATION NOTES

1. CONTRACTOR TO CLEAN AND RE-SEAT PROTECTED EXISTING BLINDS.
2. REFER TO INTERIOR ELEVATIONS FOR EXTENT OF CERAMIC TILE.
3. REFER TO ENLARGED TYPICAL TOILET PLANS FOR RENOVATION IN ALL TOILET ROOMS.
4. REPLACE TRIM AT ALL WINDOWS ON FIRST AND SECOND FLOORS. REFER TO DETAILS ON SHEET A500.
5. REFER TO ALTERNATE #1 FOR COMPREHENSIVE REPLACEMENT OF FLOORING IN RESIDENCE ROOM, SHEET AD100 & AD101.
6. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR FURTHER WORK AND COORDINATION.
7. REPAIR AND PATCH EXISTING WALLS WHERE ARCHITECTURAL, MECHANICAL OR ELECTRICAL ITEMS HAVE BEEN REMOVED.

PROTECTION OF EXISTING

1. PROVIDE AND MAINTAIN 6 MIL POLY BARRIER AND 1/4" MASONITE PANELS (OR OTHER METHOD AS APPROVED BY ARCHITECT) TO PROTECT EXISTING INSTALLED FINISHES (FLOOR, WALL, AND CEILING) COMPLETE ON ALL PATHWAYS FROM TOILET ROOM WORK AREAS TO DUMPSTERS.

GENERAL RENOVATION NOTES

- A. PROVIDE A MINIMUM 16 GAUGE SHEET METAL BLOCKING FOR ALL WALL MOUNTED CABINETS, SHELVES, EQUIPMENT, ACCESSORIES, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, AND RELATED ITEMS. COORDINATE WITH OWNER AND ARCHITECT FOR ALL SUPPLEMENTARY BLOCKING.
- B. CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT VENDORS FOR ALL LOCATIONS OF BOXES, PIPES, CONDUITS, ETC. PRIOR TO COMMENCING WORK.
- C. COMPLETELY PATCH, TRIM, BUSH, REPAIR, AND REFINISH ANY DAMAGED OR IMPERFECT COLUMNS, SURFACES, OR SIMILAR CONDITIONS AFFECTED PRIOR TO, DURING, OR AS A RESULT OF CONSTRUCTION OR DEMOLITION.
- D. VERIFY EXISTING DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- E. SEE FLOOR FINISH PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- F. COORDINATE RENOVATION WITH HVAC, PLUMBING, AND ELECTRICAL DOCUMENTS.
- G. EXISTING STRUCTURAL COLUMNS, BEAMS, FLOORS, AND FRAMING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED.
- H. REFER TO SHEET G100 FOR PARTITION TYPES, PARTITION DIMENSIONS, NOTES AND DETAILS.
- I. REFER TO SHEET A201 FOR STANDARD MOUNTING HEIGHTS.
- J. CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CASEWORK. SEE THE NOTES IN CASEWORK SCHEDULE FOR FURTHER DIMENSIONING NOTES REGARDING CASEWORK.
- K. REFER TO SHEETS A111 AND A112 FOR ENLARGED RENOVATION PLANS AND DIMENSIONS.

TOILET ROOM COUNT 3RD FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	301, 303, 305, 307, 309, 311, 318, 321, 322, 327, 330, 332, 334, 336, 341, 346, 348, 351, 357
B	4	313, 324, 343, 353
C	2	317, 352
D	0	-
E	0	-
F	2	319, 350
G	0	NOT USED
H	0	-
TOTAL	28	

TOILET ROOM COUNT 2ND FLOOR

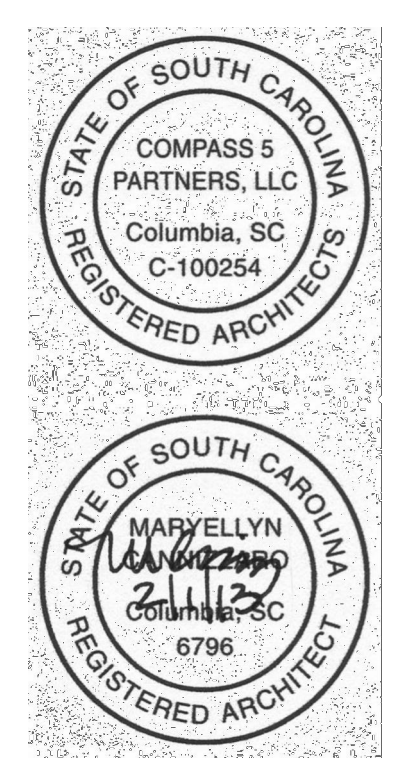
TYPE	COUNT	BASE ROOM NUMBERS
A	20	201, 203, 205, 207, 209, 211, 218, 221, 222, 227, 230, 232, 234, 236, 238, 241, 244, 247, 253, 255C
B	4	213, 224, 243, 249
C	2	217, 248
D	0	-
E	0	-
F	2	219, 246
G	0	NOT USED
H	0	-
TOTAL	29	

TOILET ROOM COUNT 1ST FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	12	110, 114, 116, 122, 128, 129, 131, 137, 139, 141, 147, 149
B	4	112, 118, 133, 143
C	2	117, 142
D	2	115, 140
E	2	102, 108
F	0	-
G	0	NOT USED
H	1	151
TOTAL	23	

LEGEND

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (w/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).
- BASE BID - VCT/CARPET FLOOR REPAIR



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Preston College Bathroom & Flooring Renovations
 H27-6086-SG Columbia, SC

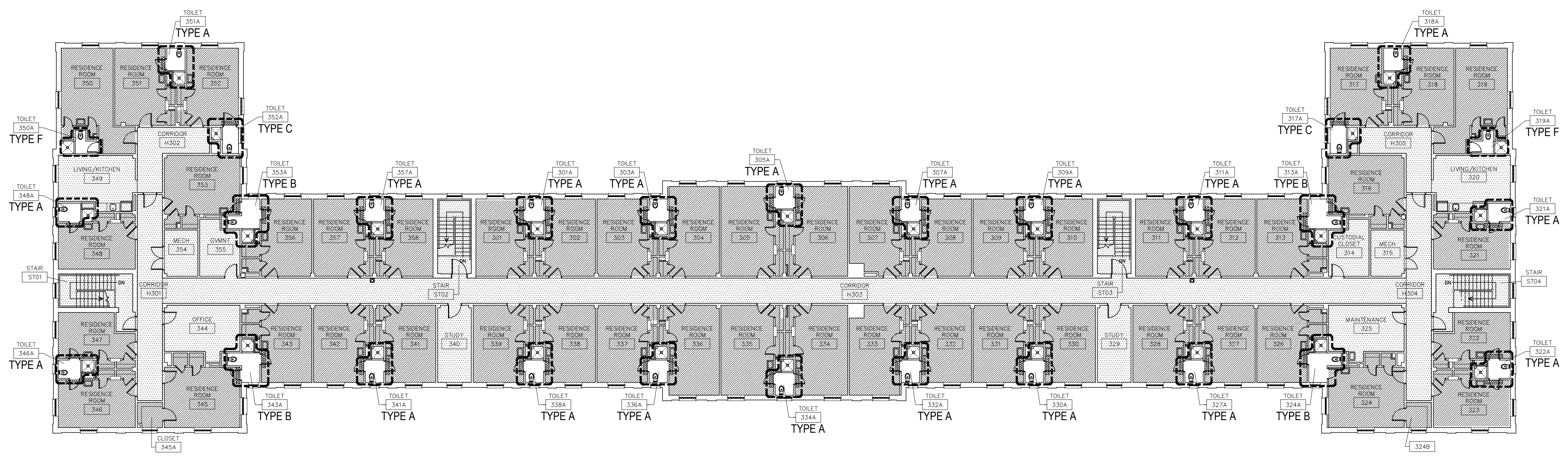
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 Project Number: 1238 ULH

REVISIONS	
OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

OVERALL RENOVATION PLANS

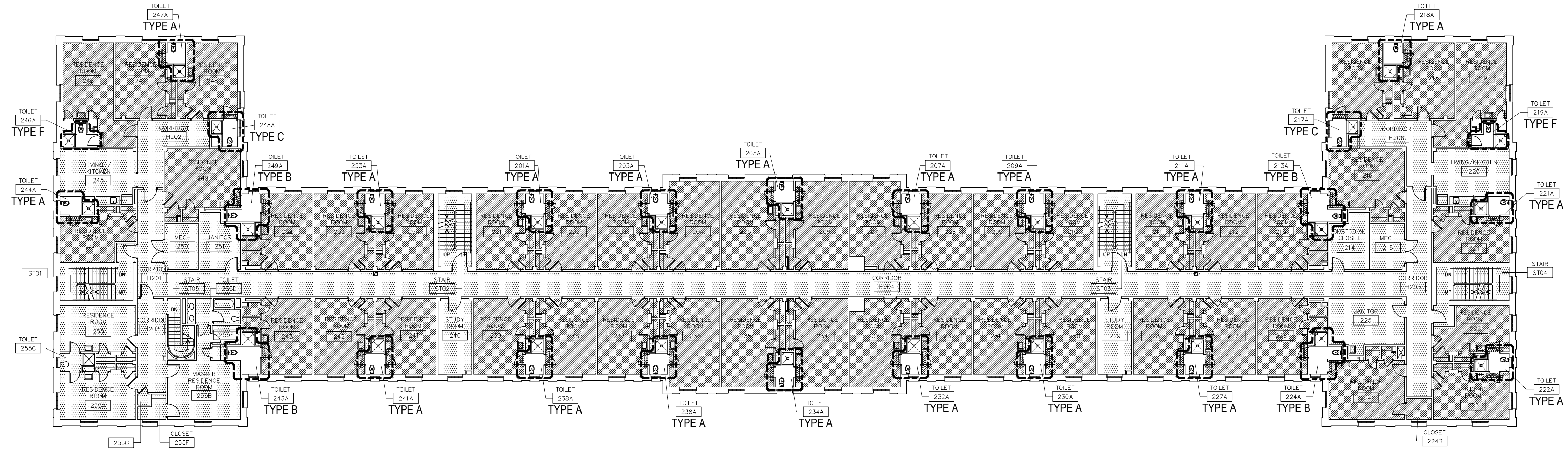
Date: 01-24-13
 Drawn: BRB
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A100



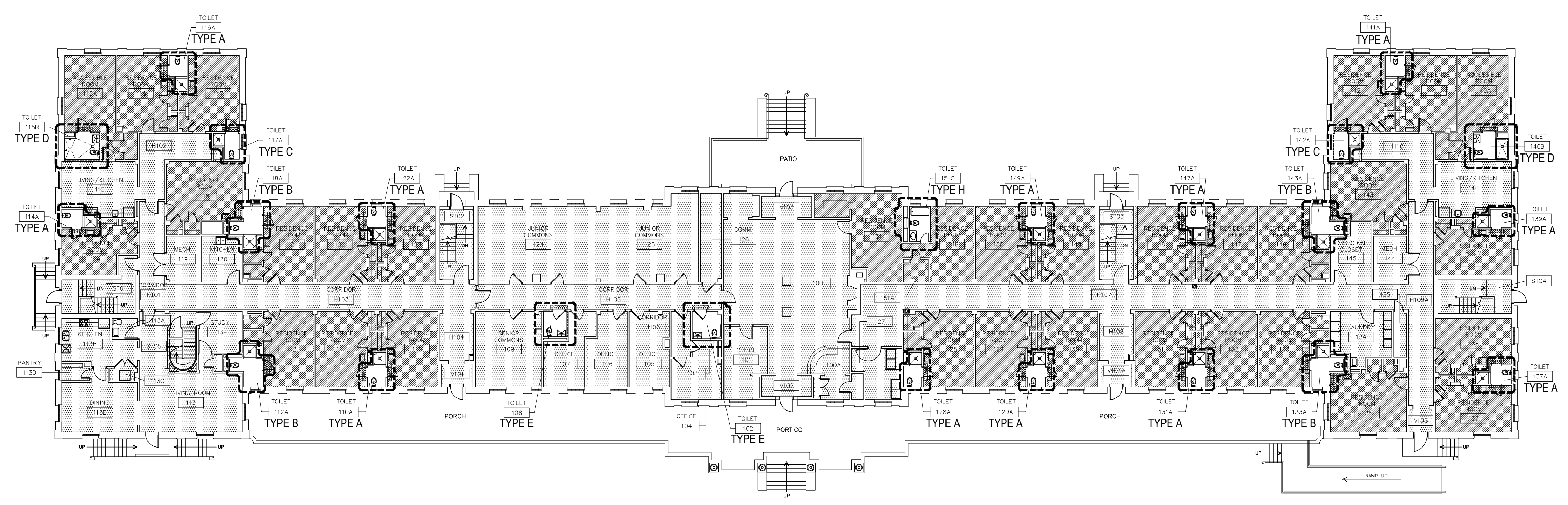
C1 3RD FLOOR OVERALL RENOVATION PLAN

SCALE: 1/16" = 1'-0"



B1 2ND FLOOR OVERALL RENOVATION PLAN

SCALE: 1/16" = 1'-0"



A1 1ST FLOOR OVERALL RENOVATION PLAN

SCALE: 1/16" = 1'-0"

RENOVATION NOTES

1. CONTRACTOR TO CLEAN AND RE-SEAT PROTECTED EXISTING BLINDS.
2. REFER TO INTERIOR ELEVATIONS FOR EXTENT OF CERAMIC TILE.
3. REFER TO ENLARGED TYPICAL TOILET PLANS FOR RENOVATION IN ALL TOILET ROOMS.
4. REPLACE TRIM AT ALL WINDOWS ON FIRST AND SECOND FLOORS. REFER TO DETAILS ON SHEET A500.
5. REFER TO ALTERNATE #1 FOR COMPREHENSIVE REPLACEMENT OF FLOORING IN RESIDENCE ROOM, SHEET AD100 & AD101.
6. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR FURTHER WORK AND COORDINATION.
7. REPAIR AND PATCH EXISTING WALLS WHERE ARCHITECTURAL, MECHANICAL OR ELECTRICAL ITEMS HAVE BEEN REMOVED.

PROTECTION OF EXISTING

1. PROVIDE AND MAINTAIN 6 MIL POLY BARRIER AND 1/4" MASONITE PANELS (OR OTHER METHOD AS APPROVED BY ARCHITECT) TO PROTECT EXISTING INSTALLED FINISHES (FLOOR, WALL, AND CEILING) COMPLETE ON ALL PATHWAYS FROM TOILET ROOM WORK AREAS TO DUMPSTERS.

ALTERNATE #1

1. REMOVE FINISH VCT LAYER(S) AND MASTIC TO SUBFLOOR AT RESIDENCE ROOM AND ACCESSIBLE RESIDENCE ROOMS. AREA OF WORK INCLUDES CLOSETS.
 2. REMOVE SHOE MOLDING.
 3. PROVIDE 1/8" LUALUN UNDERLAYMENT.
 4. PROVIDE LVT #1: MANNINGTON NATURE'S PATH SELECT CENTURY CHERRY - SPICY CIDER 12151 5"X48" PLANKS INSTALLED PARALLEL TO CORRIDOR ENTRY THRESHOLD.
 5. REPLACE DOOR THRESHOLD AT CORRIDOR ENTRY DOOR TO RESIDENCE ROOM FOR 10 LOCATIONS TO BE SELECTED BY ARCHITECT. PROVIDE ALUMINUM 1" CLAMHELL THRESHOLD.
 6. PROVIDE SHOE MOULDING COMPLETE. PRIME AND PAINT SHOE MOULD TO INCLUDE BASE BOARDS.
- SEE AD101, A101, B1/A504, A601, A602, A603 FOR WORK INCLUDED IN THIS ALTERNATE. SEE SPECIFICATIONS

TOILET ROOM COUNT 3RD FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	301, 303, 305, 307, 309, 311, 318, 321, 322, 327, 330, 332, 334, 336, 341, 346, 348, 351, 357
B	4	313, 324, 343, 353
C	2	317, 352
D	0	-
E	0	-
F	2	319, 350
G	0	NOT USED
H	0	-
TOTAL	28	

TOILET ROOM COUNT 2ND FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	201, 203, 205, 207, 209, 211, 218, 221, 222, 227, 230, 232, 234, 236, 238, 241, 244, 247, 253, 255C
B	4	213, 224, 243, 249
C	2	217, 248
D	0	-
E	0	-
F	2	219, 246
G	0	NOT USED
H	0	-
TOTAL	29	

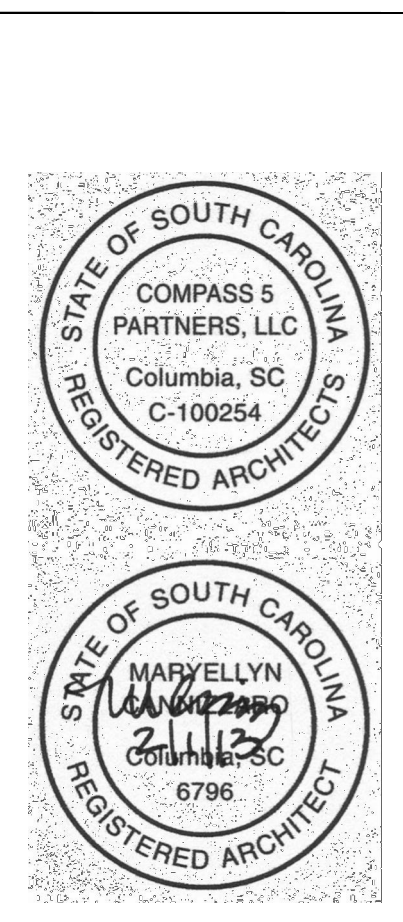
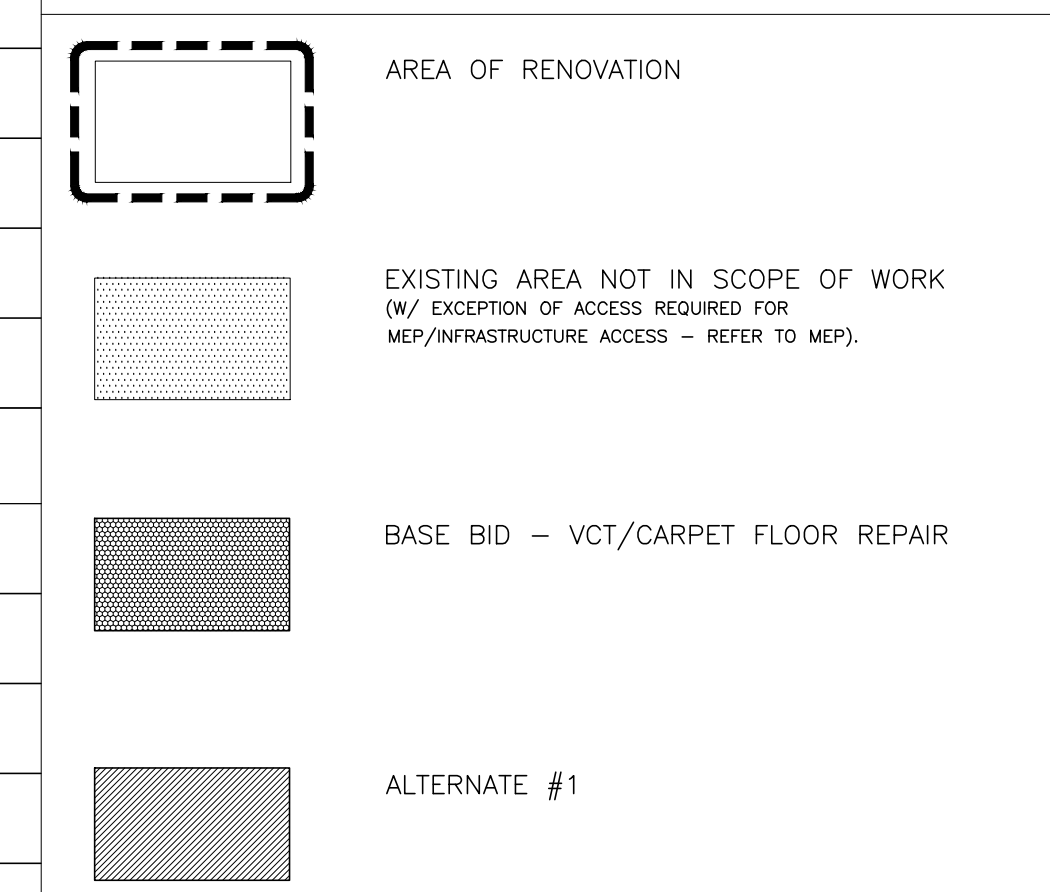
TOILET ROOM COUNT 1ST FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	12	110, 114, 116, 122, 128, 129, 131, 137, 139, 141, 147, 149
B	4	112, 118, 133, 143
C	2	117, 142
D	2	115, 140
E	2	102, 108
F	0	-
G	0	NOT USED
H	1	151
TOTAL	23	

GENERAL RENOVATION NOTES

- A. PROVIDE A MINIMUM 16 GAUGE SHEET METAL BLOCKING FOR ALL WALL MOUNTED CABINETS, SHELVES, EQUIPMENT, ACCESSORIES, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, AND RELATED ITEMS. COORDINATE WITH OWNER AND ARCHITECT FOR ALL SUPPLEMENTARY BLOCKING.
- B. CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT VENDORS FOR ALL LOCATIONS OF BOXES, PIPES, CONDUITS, ETC. PRIOR TO COMMENCING WORK.
- C. COMPLETELY PATCH, TRIM, BUSH, REPAIR, AND REFINISH ANY DAMAGED OR IMPERFECT COLUMNS, SURFACES, OR SIMILAR CONDITIONS AFFECTED PRIOR TO, DURING, OR AS A RESULT OF CONSTRUCTION OR DEMOLITION.
- D. VERIFY EXISTING DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- E. SEE FLOOR FINISH PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- F. COORDINATE RENOVATION WITH HVAC, PLUMBING, AND ELECTRICAL DOCUMENTS.
- G. EXISTING STRUCTURAL COLUMNS, BEAMS, FLOORS, AND FRAMING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED.
- H. REFER TO SHEET G100 FOR PARTITION TYPES, PARTITION DIMENSIONS, NOTES AND DETAILS.
- I. REFER TO SHEET A201 FOR STANDARD MOUNTING HEIGHTS.
- J. CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CASEWORK. SEE THE NOTES IN CASEWORK SCHEDULE FOR FURTHER DIMENSIONING NOTES REGARDING CASEWORK.
- K. REFER TO SHEETS A111 AND A112 FOR ENLARGED RENOVATION PLANS AND DIMENSIONS.

LEGEND



Compass 5 Partners, LLC
 1329 State Street
 Columbia, SC 29033
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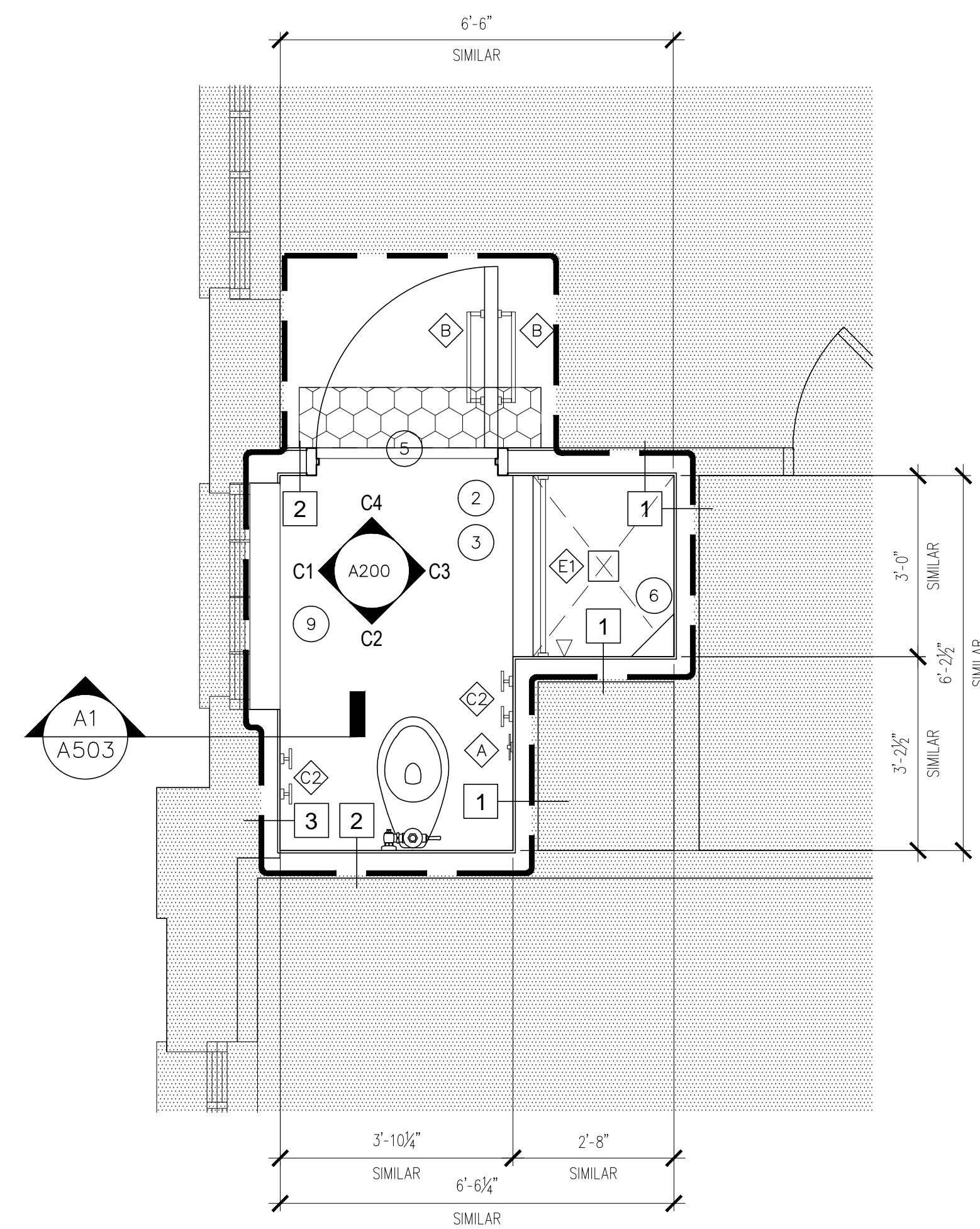
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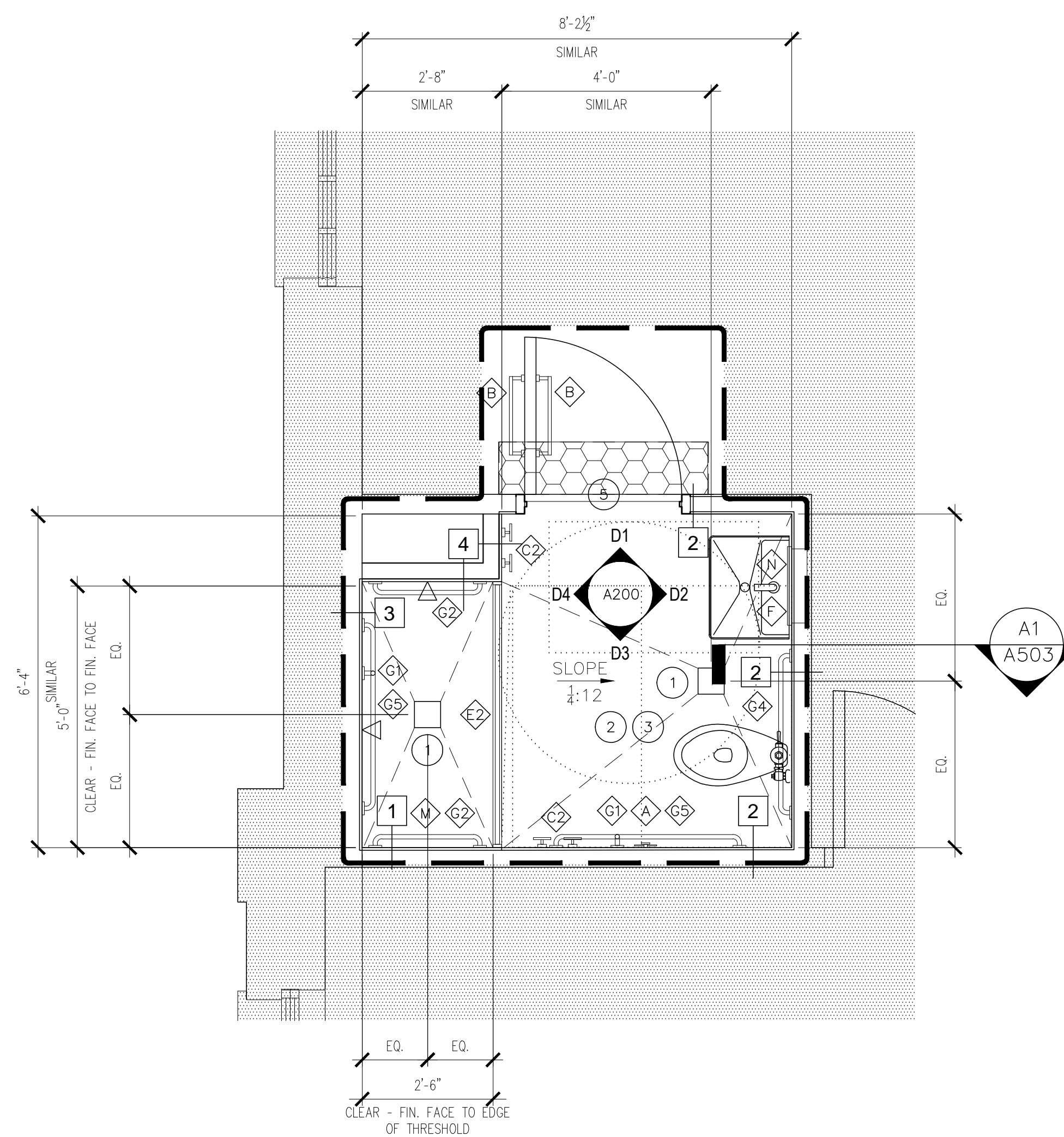
ALTERNATE #1 RENOVATION PLANS

Date: 01-24-13
 Drawn: BRB
 Checked: MEC
A101



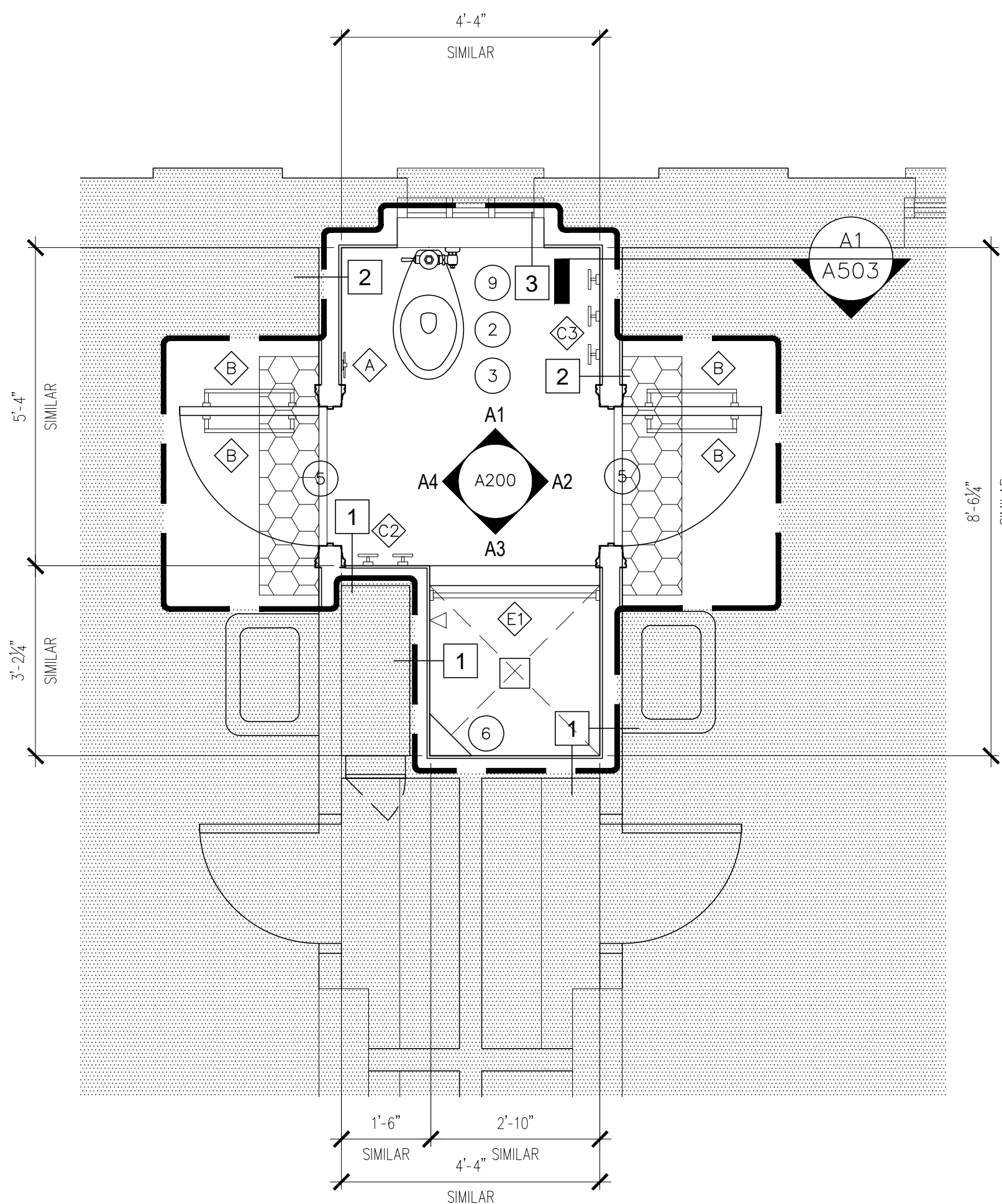
B1 TYP. TOILET TYPE "C" RENOVATION

SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 142A
 SIMILAR: 217A, 317A
 OPPOSITE HAND: 117A, 248A, 352A



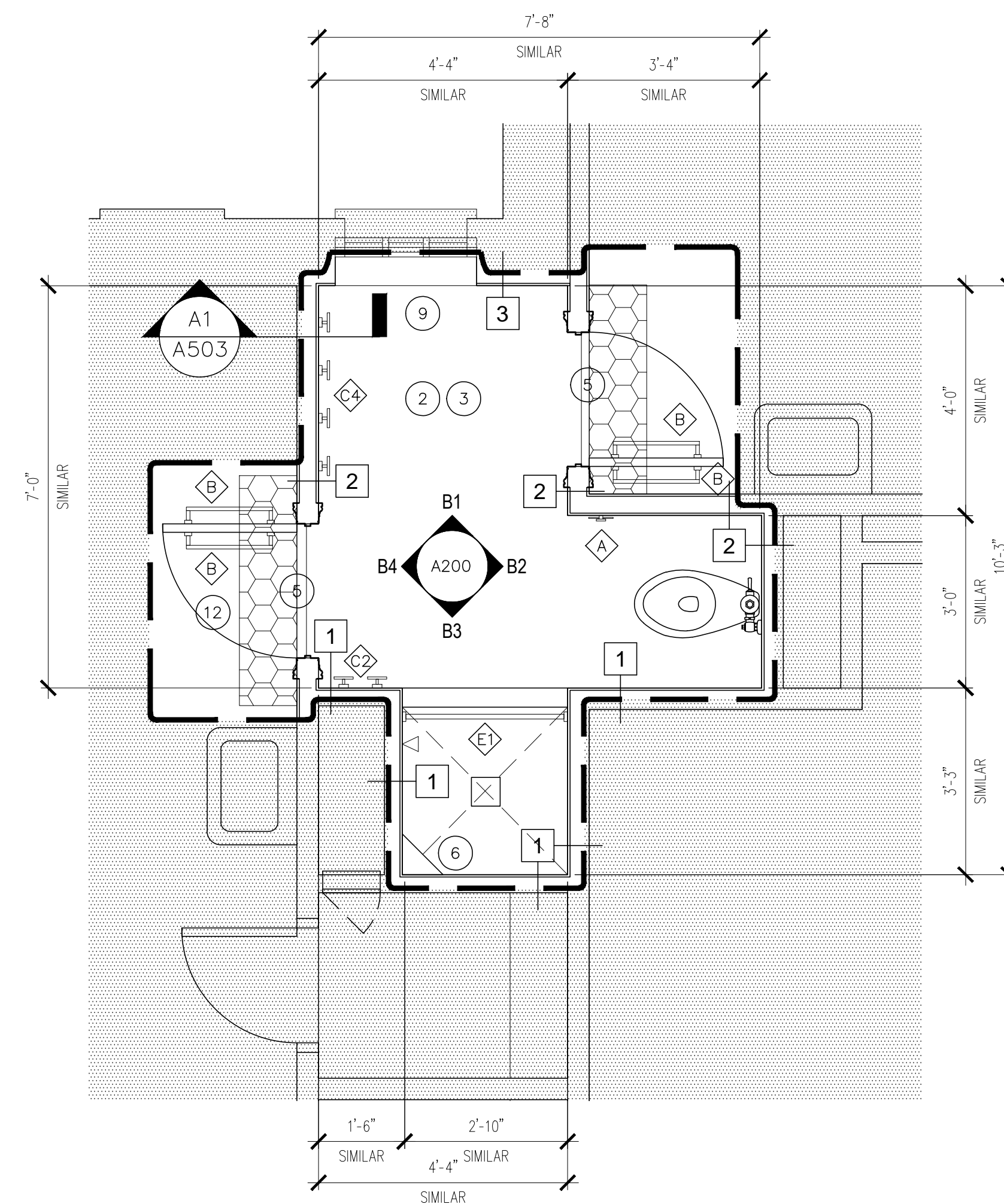
B2 TYP. TOILET TYPE "D" RENOVATION (EXISTING ACCESSIBLE)

REFER TO ACCESSIBLE SHOWER PLAN B1/A502
 SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 115B
 OPPOSITE HAND: 140B



A1 TYP. TOILET TYPE "A" RENOVATION

SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 122A
 SIMILAR: 116A, 137A, 139A, 147A, 149A, 201A, 203A, 205A, 207A, 209A, 211A, 221A, 222A, 244A, 247A, 253A, 255C, 301A, 303A, 305A, 307A, 309A, 311A, 321A, 322A, 346A, 348A, 351A, 357A
 OPPOSITE HAND: 110A, 114A, 128A, 129A, 131A, 141A, 216A, 227A, 230A, 232A, 234A, 236A, 238A, 241A, 318A, 327A, 330A, 332A, 334A, 336A, 338A, 341A



A2 TYP. TOILET TYPE "B" RENOVATION

SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 143A
 SIMILAR: 118A, 213A, 243A, 313A, 343A
 OPPOSITE HAND: 112A, 133A, 224A, 249A, 324A, 353A

RENOVATION NOTES

1. CONTRACTOR TO CLEAN AND RE-SEAT PROTECTED EXISTING BLINDS.
2. REFER TO INTERIOR ELEVATIONS FOR EXTENT OF CERAMIC TILE.
3. REFER TO ENLARGED TYPICAL TOILET PLANS FOR RENOVATION IN ALL TOILET ROOMS.
4. REPLACE TRIM AT ALL WINDOWS ON FIRST AND SECOND FLOORS. REFER TO DETAILS ON SHEET A500.
5. REFER TO ALTERNATE #1 FOR COMPREHENSIVE REPLACEMENT OF FLOORING IN RESIDENCE ROOM, SHEET AD100 & AD101.
6. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR FURTHER WORK AND COORDINATION.
7. REPAIR AND PATCH EXISTING WALLS WHERE ARCHITECTURAL, MECHANICAL OR ELECTRICAL ITEMS HAVE BEEN REMOVED.

KEYED RENOVATION NOTES

1. INSTALL NEW DRAIN THIS LOCATION. SEE PLUMBING.
2. INSTALL CERAMIC TILE FLOORING. SEE FINISH FLOOR PLANS.
3. INSTALL NEW WALL TILE FINISH AS INDICATED ON FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS. REFER TO WALL TYPES.
4. NOT USED.
5. INSTALL NEW DOOR THRESHOLD. REFER TO DETAIL A1/A504. REPLACEMENT THRESHOLD SHALL BE THE SAME SIZE AND INSTALLED IN THE SAME LOCATION AS EXISTING TO ELIMINATE ANY ADDITIONAL IMPERFECTIONS OF DOOR FRAME BEING EXPOSED. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO INSTALL. REPLACE VCT IN RESIDENCE ROOM. REFER TO DETAIL A2/A504.
6. INSTALL NEW 8"x8" TRIANGULAR TILED SHAVING LEDGE AS SHOWN IN PLAN. FINISHED TOP OF SHAVING LEDGE SHALL BE AT APPROX. 18" A.F.F. AND SHALL ALIGN WITH SHOWER WALL TILE AND TOILET ROOM WALL TILE.
7. INSTALL NEW TUB. REFER TO PLUMBING DRAWINGS.
8. REPAIR CEILING AND PREPARE FOR NEW FINISHES AFTER NEW FIXTURE(S) AND MECHANICAL GRILLES ARE INSTALLED.
9. REINSTALL EXISTING WINDOW SILL, STOOL, APRON AND ANY ASSOCIATIVE MOULDING. INSTALL NEW WINDOW TRIM INSIDE WINDOW BOX ON 1ST AND 2ND FLOORS.
10. TILE EXISTING WINDOW BOX. REFER TO INTERIOR ELEVATIONS.
11. REINSTALL CARPET AT DOOR THRESHOLD. TRIM AND READHERE AS NEEDED TO CLEANLY AND SECURELY MEET NEW MARBLE THRESHOLD.
12. AT ROOM 112, INSTALL NEW CARPET AND SUBSTRATE AT DOOR THRESHOLD, TRIM AND READHERE AS NEEDED TO CLEANLY AND SECURELY MEET NEW MARBLE THRESHOLD. CONSULT WITH ARCHITECT FOR CARPET SELECTION TO MATCH EXISTING.

TOILET ROOM ACCESSORIES

1. BASIS OF DESIGN IS BOBROCK EXTRA HEAVY DUTY ACCESSORIES UNLESS NOTED OTHERWISE.
2. PENETRATIONS THROUGH THE SURFACE REQUIRE KERDI-FIX PLUG. COORDINATE WITH TILE INSTALLER.
3. FIELD VERIFY LENGTH OF SHOWER CURTAIN RODS AND TRIM TO FIT.

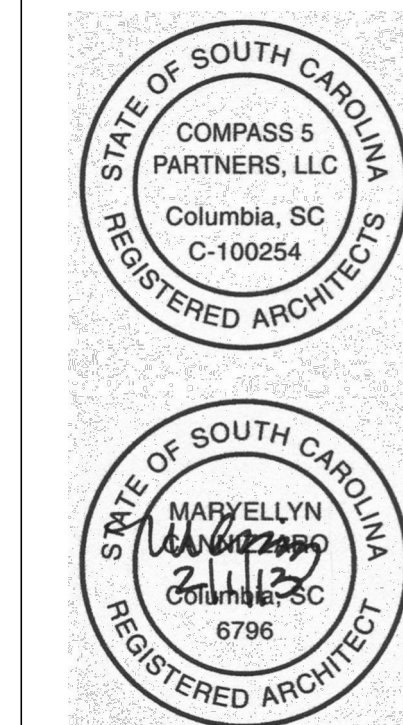
TAG	FURNISH/INSTALL	DESCRIPTION
A	CFCI	B-543 TOILET TISSUE DISPENSER
B	CFCI	B-530 X 18 TOWEL BAR WITH CONCEALED MOUNTING
C1	CFCI	(1) B-6727 DOUBLE ROBE HOOK
C2	CFCI	(2) B-6727 DOUBLE ROBE HOOKS
C3	CFCI	(3) B-6727 DOUBLE ROBE HOOKS
C4	CFCI	(4) B-6727 DOUBLE ROBE HOOKS
D	CFCI	CASCADES TANDEM JRT BATHROOM TOILET TISSUE DISPENSER, GRAY
E1	CFCI	B-6047X36 EXTRA HEAVY DUTY SHOWER CURTAIN ROD 36"
E2	CFCI	B-6047X60 EXTRA HEAVY DUTY SHOWER CURTAIN ROD 60"
F	CFCI	B-290 24X36 STAINLESS STEEL WELDED MIRROR
G1	CFCI	HANDICAP ACCESSIBLE GRAB BARS AT TOILET AND SHOWER (REFER TO DRAWING FOR LENGTH)
G2	CFCI	B-5806 X 18 ACCESSIBLE GRAB BAR
G3	CFCI	B-5806 X 24 ACCESSIBLE GRAB BAR
G4	CFCI	B-5806 X 30 ACCESSIBLE GRAB BAR
G5	CFCI	B-5806 X 36 ACCESSIBLE GRAB BAR
G6	CFCI	B-5806 X 42 ACCESSIBLE GRAB BAR
H	CFCI	B-221 SURFACE MOUNTED SEAT COVER DISPENSER
I	CFCI	NOT USED
J	OFBI	FLOOR STANDING OPEN TOP WASTE RECEPTACLE
K	CFCI	XLERATOR AUTOMATIC HAND DRYER - BRUSHED STAINLESS STEEL COVER WITH ADA RECESS KIT
L	CFCI	GOJO 1384-04 LTX 12" SOAP DISPENSING SYSTEM WHITE/GREY WITH WALL PLATE, SHIELD FLOOR AND WALL PROTECTION
M	CFCI	PROVIDE BLOCKING ONLY IN WALL FOR FUTURE INSTALLATION OF B-5181 REVERSIBLE FOLDING SHOWER SEAT
N	CFCI	B-398 RECESSED MEDICINE CABINET

GENERAL RENOVATION NOTES

- A. PROVIDE A MINIMUM 1/8" GAUGE SHEET METAL BLOCKING FOR ALL WALL MOUNTED CABINETS, SHELVES, EQUIPMENT, ACCESSORIES, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, AND RELATED ITEMS. COORDINATE WITH OWNER AND ARCHITECT FOR ALL SUPPLEMENTARY BLOCKING.
- B. CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT VENDORS FOR ALL LOCATIONS OF BOXES, PIPES, CONDUITS, ETC. PRIOR TO COMMENCING WORK.
- C. COMPLETELY PATCH, TRIM, BUSH, REPAIR, AND REFINISH ANY DAMAGED OR IMPERFECT COLUMNS, SURFACES, OR SIMILAR CONDITIONS AFFECTED PRIOR TO, DURING, OR AS A RESULT OF CONSTRUCTION OR DEMOLITION.
- D. VERIFY EXISTING DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- E. SEE FLOOR FINISH PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- F. COORDINATE RENOVATION WITH HVAC, PLUMBING, AND ELECTRICAL DOCUMENTS.
- G. EXISTING STRUCTURAL COLUMNS, BEAMS, FLOORS, AND FRAMING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED.
- H. REFER TO SHEET G100 FOR PARTITION TYPES, PARTITION DIMENSIONS, NOTES AND DETAILS.
- I. REFER TO SHEET A201 FOR STANDARD MOUNTING HEIGHTS.
- J. CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CASEWORK. SEE THE NOTES IN CASEWORK SCHEDULE FOR FURTHER DIMENSIONING NOTES REGARDING CASEWORK.
- K. REFER TO SHEETS A111 AND A112 FOR ENLARGED RENOVATION PLANS AND DIMENSIONS.

LEGEND

	AREA OF RENOVATION
	EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).
	BASE BID - VCT/CARPET FLOOR REPAIR



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ENLARGED TOILET RENOVATION PLANS

Date: 01-24-13
 Drawn: BRB
 Checked: MEC
A111

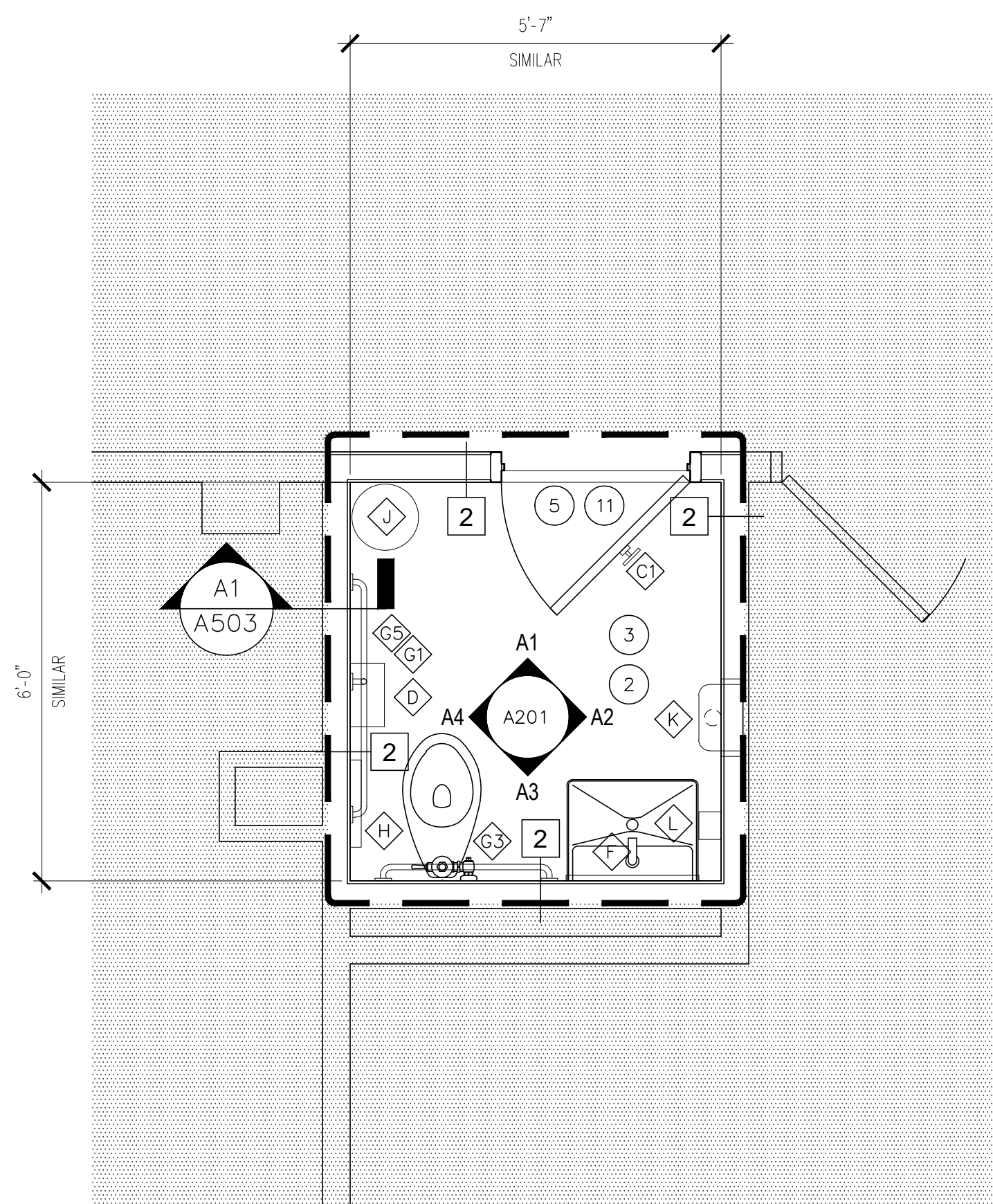
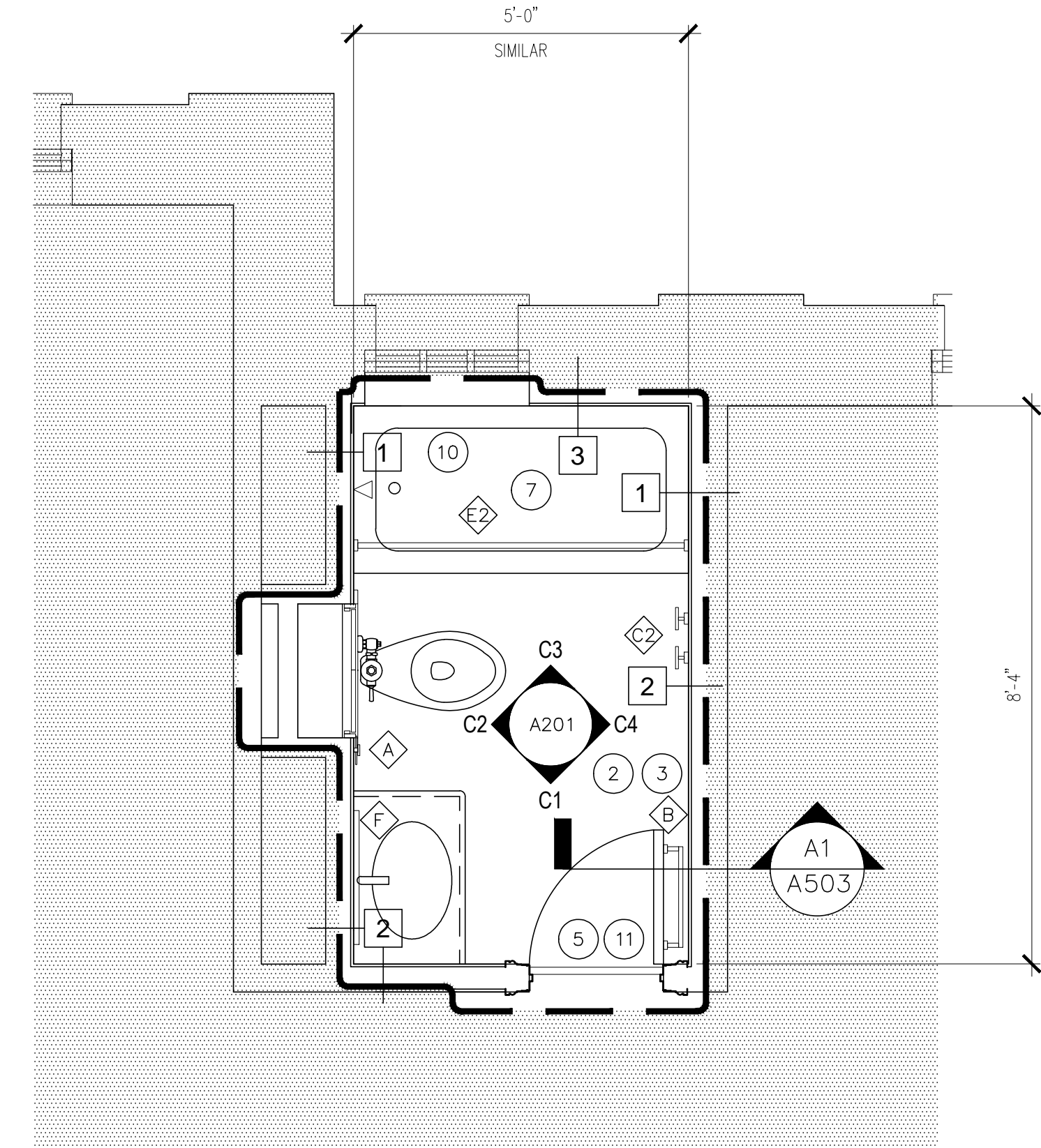
NOT USED

B1 TYP. TOILET TYPE "G" RENOVATION

SCALE: 1/2" = 1'-0"
NOT USED

B2 TYP. TOILET TYPE "H" RENOVATION

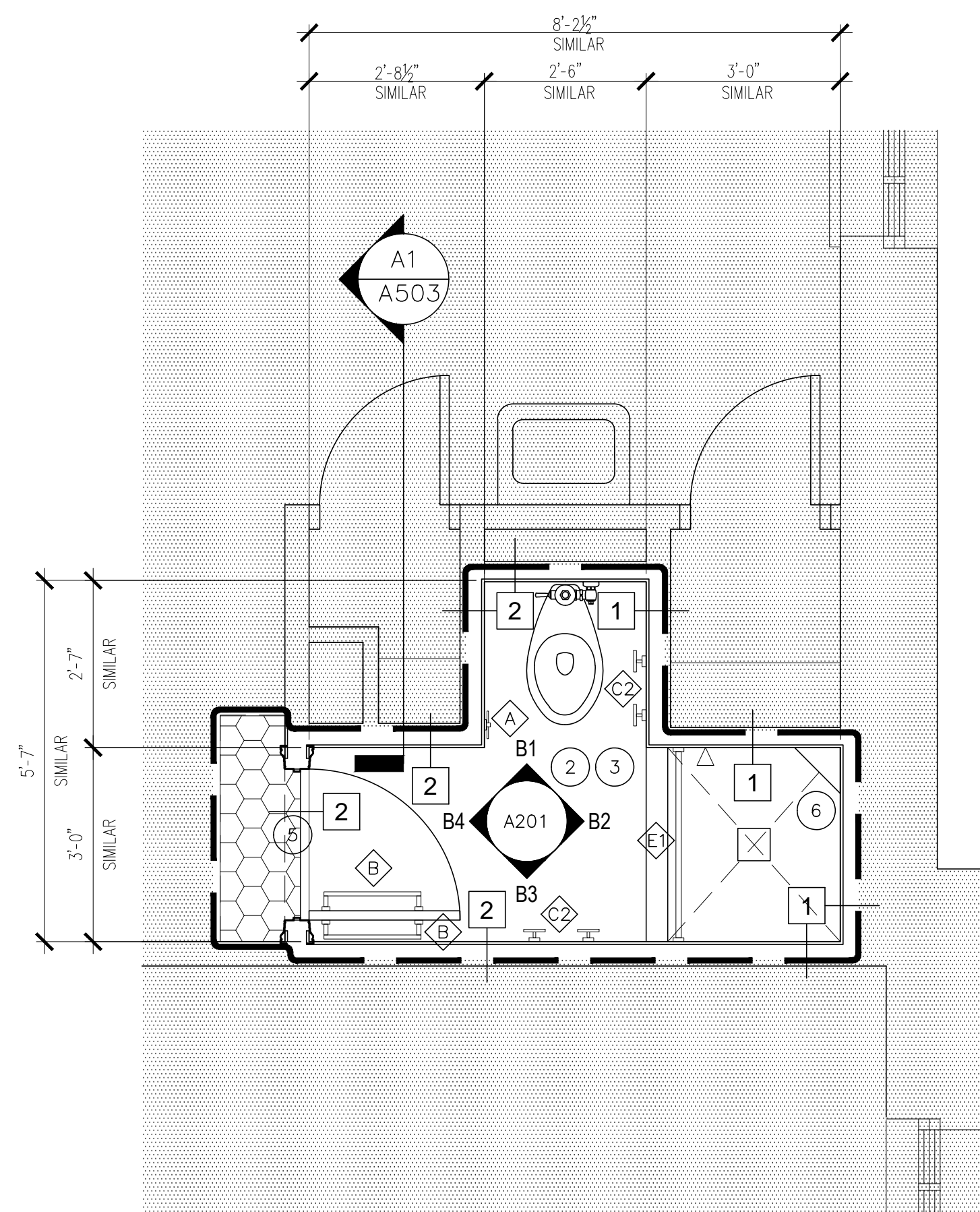
SCALE: 1/2" = 1'-0"
SHOWN: ROOM 151C



A1 TYP. TOILET TYPE "E" RENOVATION

SCALE: 1/2" = 1'-0"
SHOWN: ROOM 108

NOTE: ROOM 102: PROVIDE IN LIEU OF PROVIDED BEHIND TOILET.



A2 TYP. TOILET TYPE "F" RENOVATION

SCALE: 1/2" = 1'-0"
SHOWN: ROOM 219A, 319A
OPPOSITE HAND: 246A, 350A

RENOVATION NOTES

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- NOT USED.
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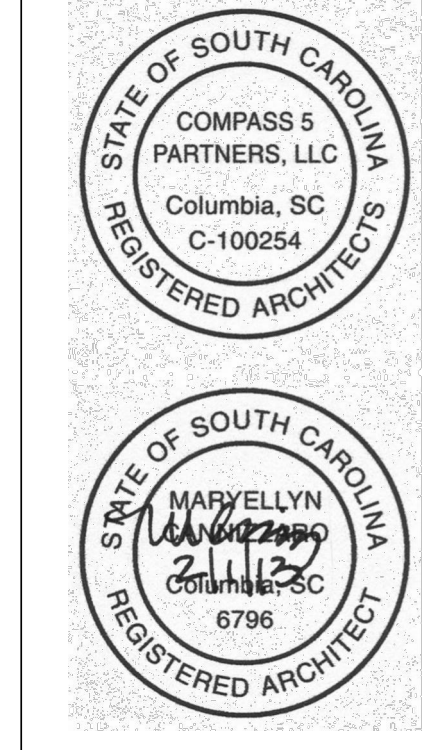
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LEGEND

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP).
- BASE BID - VCT/CARPET FLOOR REPAIR



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1329 State Street Cayce, SC 29033
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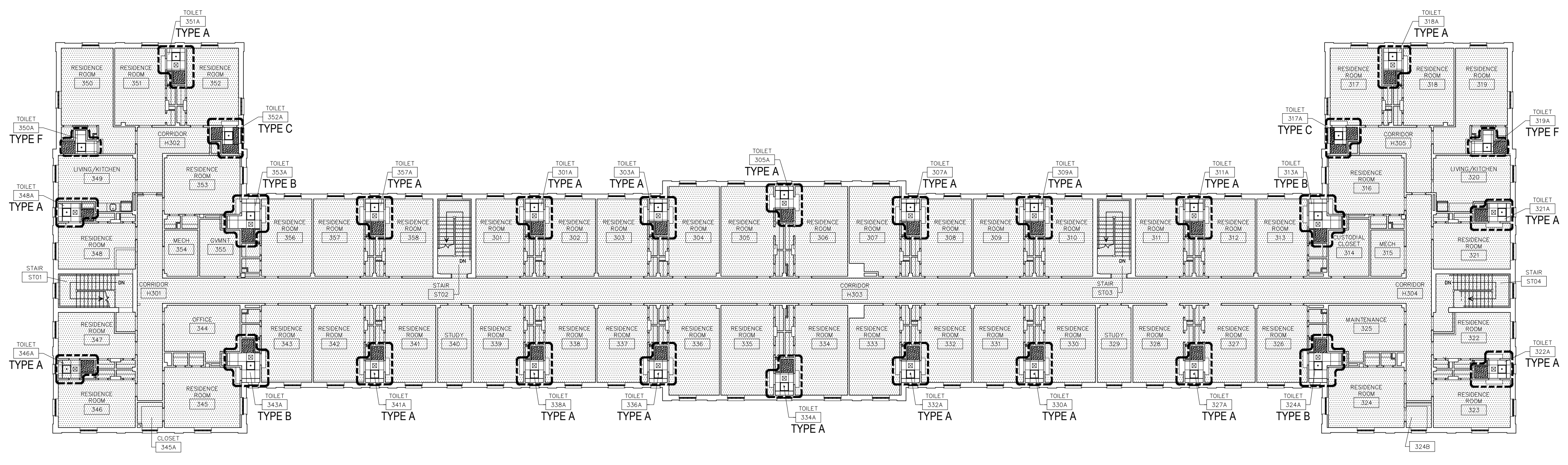
Preston College Bathroom & Flooring Renovations
H27-6086-SG Columbia, SC

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Project Number: 1238 UH

REVISIONS	
OSE SD SUBMITTAL	12/20/12
OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

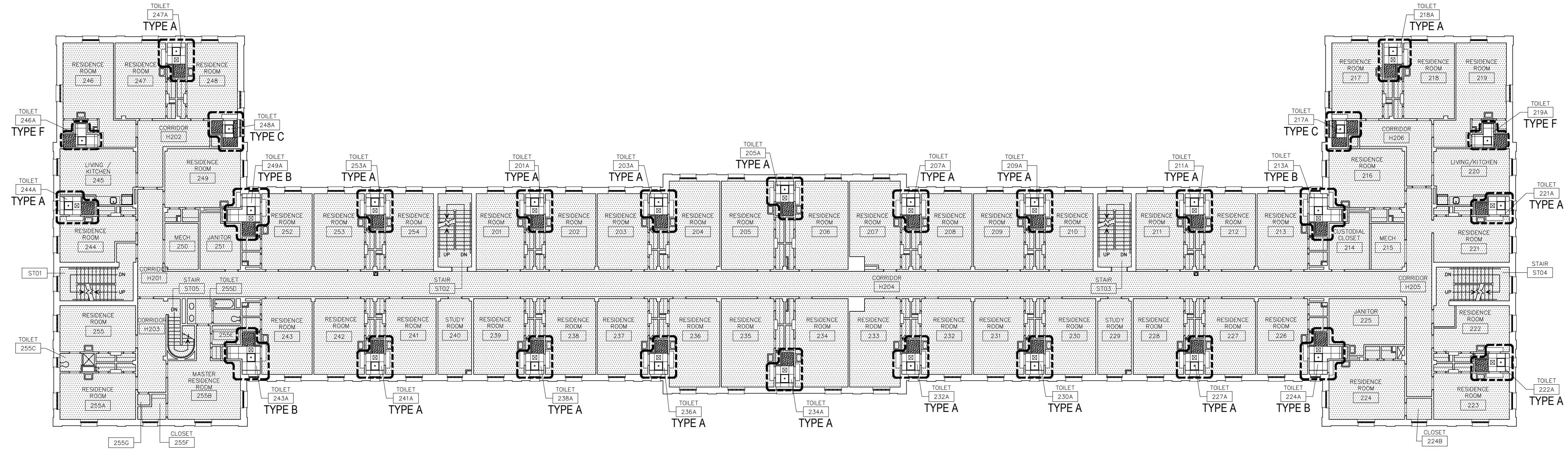
ENLARGED TOILET RENOVATION PLANS

Date: 01-24-13
Drawn: BRB
Checked: MEC
A112



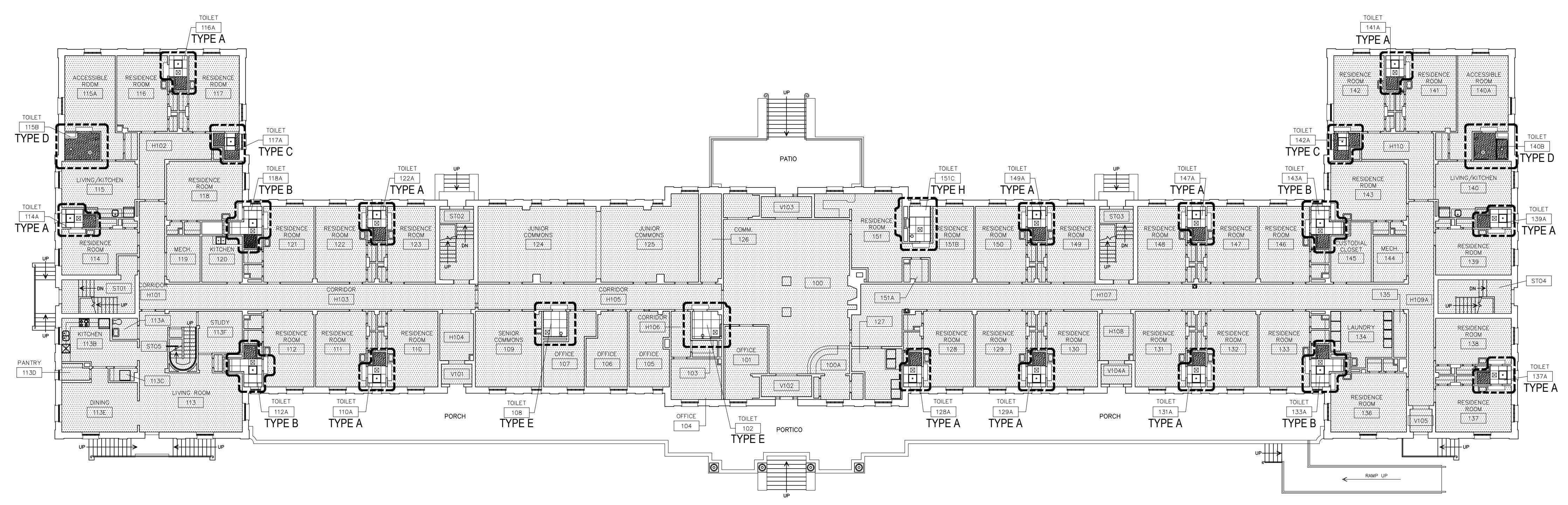
C1 3RD FLOOR OVERALL REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"



B1 2ND FLOOR OVERALL REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"



A1 1ST FLOOR OVERALL REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"

CEILING NOTES

1. PROVIDE NEW CEILING IN ALL TOILET ROOMS TO BE RENOVATED UNLESS OTHERWISE NOTED OTHERWISE. COORDINATE WITH REFLECTED CEILING PLANS - SHEET A121 AND A122 FOR SCOPE OF WORK IN EACH TOILET TYPE.
2. EXISTING HARD SOFFITS TO REMAIN.

GENERAL CEILING NOTES

- A. SEE FINISH LEGEND AND FINISH SCHEDULE FOR CEILING TYPES AND MATERIALS.
- B. CEILING GRIDS OR TILES TO BE CENTERED IN ALL ROOMS IN BOTH DIRECTIONS UNLESS NOTED OTHERWISE. COORDINATE WITH CEILING TRANSITION DETAIL A1/A500. PARTIAL CEILING TILES SHALL NOT BE LESS THAN 6" IN EITHER DIMENSION. PARTIAL TILES SHALL BE CUT FROM TILES OF THE SAME TYPE. TYPICAL PROFILE SHALL BE CUT IN AT ALL CUT LINES.
- C. COORDINATE REFLECTED CEILING PLANS WITH ELECTRICAL, MECHANICAL, AND ROOM FINISH INFORMATION.
- D. IN THE CASE OF MINOR DISCREPANCIES IN LOCATION OF CEILING MOUNTED COMPONENTS, THE REFLECTED CEILING PLAN SHALL GOVERN. IN THE CASE OF MAJOR DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.
- E. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.
- F. ALL CEILING HEIGHTS ARE AS SHOWN ON THE REFLECTED CEILING PLANS UNLESS NOTED OTHERWISE.
- G. CONTRACTOR TO VERIFY ALL PREVIOUSLY INSTALLED CONSTRUCTION CONDITIONS PRIOR TO FABRICATION OR STARTING OF CEILING CONSTRUCTION.
- H. LIGHTS, DIFFUSERS, AND MISCELLANEOUS DEVICES SHALL BE CENTERED IN THE CEILING TILES IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE. REFER TO MECHANICAL AND ELECTRICAL FOR LOCATION.
- I. CEILING SEISMIC DETAILS ARE PROVIDED TO ILLUSTRATE THE GENERAL REQUIREMENTS OF IGCA GUIDELINES FOR SEISMIC C RESTRAINT AND IBC CHAPTER 16. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE PROVISIONS OF THESE STANDARDS. IN CASE OF CONFLICT, THE MORE STRINGENT STANDARD WILL PREVAIL. REFER TO SHEET A500
- J. REFER TO LIFE SAFETY PLAN, G100, FOR WALL FIRE RATINGS.
- K. PREP, PATCH, AND REPAIR EXISTING CEILINGS TO REMAIN AS NECESSARY TO RECEIVE NEW WORK. EXISTING DRYWALL CEILINGS TO REMAIN TO RECEIVE SKIM COAT AND REFINEMENT TO LEVEL 5 FINISH.

TOILET ROOM COUNT 3RD FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	301, 303, 305, 307, 309, 311, 318, 321, 322, 327, 330, 332, 334, 336, 341, 346, 348, 351, 357
B	4	313, 324, 343, 353
C	2	317, 352
D	0	-
E	0	-
F	2	319, 350
G	0	NOT USED
H	0	-
TOTAL	28	

TOILET ROOM COUNT 2ND FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	201, 203, 205, 207, 209, 211, 218, 221, 222, 227, 230, 232, 234, 236, 238, 241, 244, 247, 253, 255C
B	4	213, 224, 243, 249
C	2	217, 248
D	0	-
E	0	-
F	2	219, 246
G	0	NOT USED
H	0	-
TOTAL	29	

TOILET ROOM COUNT 1ST FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	12	110, 114, 116, 122, 128, 129, 131, 137, 139, 141, 147, 149
B	4	112, 118, 133, 143
C	2	117, 142
D	2	115, 140
E	2	102, 108
F	0	-
G	0	NOT USED
H	1	151
TOTAL	23	

LEGEND

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP)
- 2x2 LAY-IN ACOUSTICAL CEILING PANEL
- GYPSUM BOARD
- 0'-0" HEIGHT ABOVE FINISHED FLOOR
- 8"x8" EXHAUST DIFFUSER
- 2x2 FLUORESCENT LIGHT FIXTURE
- RECESSED CAN LIGHT FIXTURE

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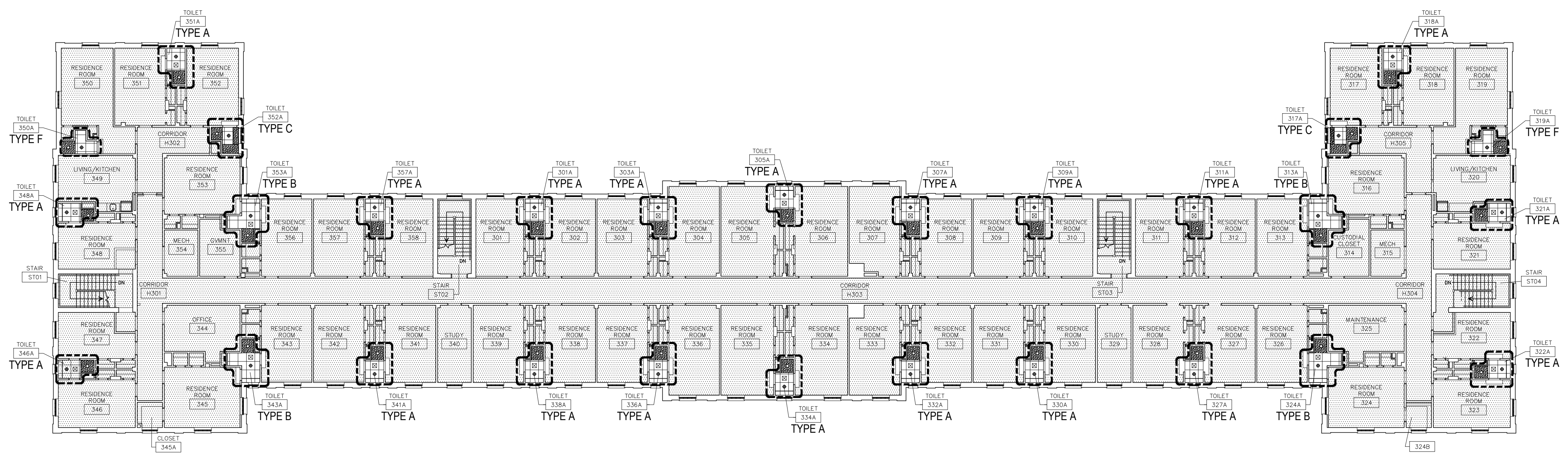
REVISIONS

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OVERALL REFLECTED CEILING PLANS

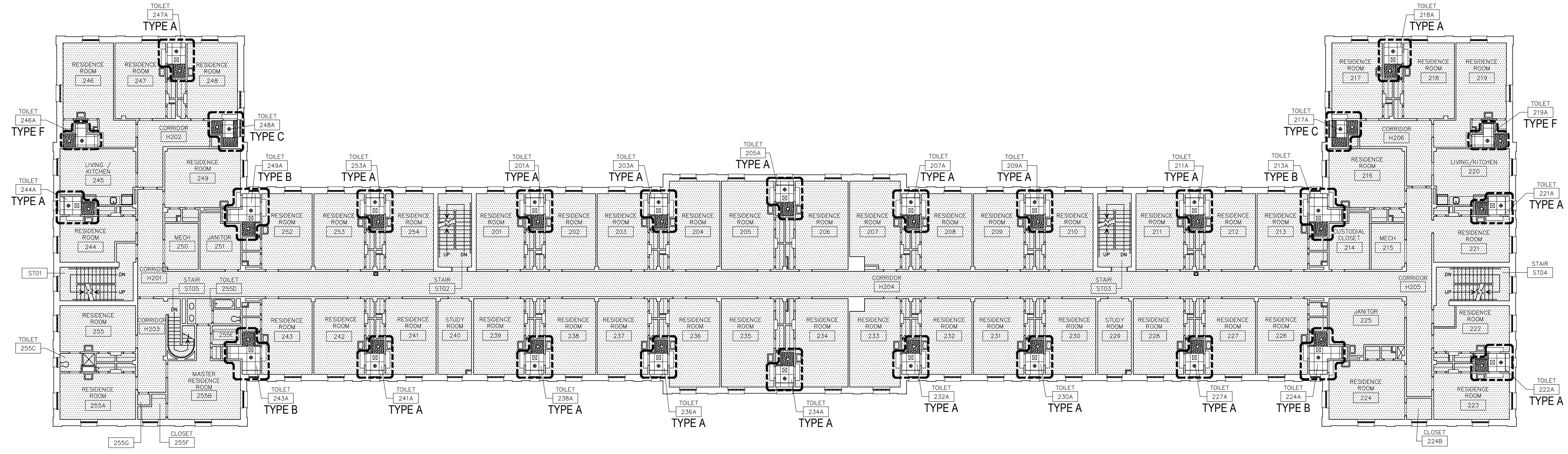
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A120



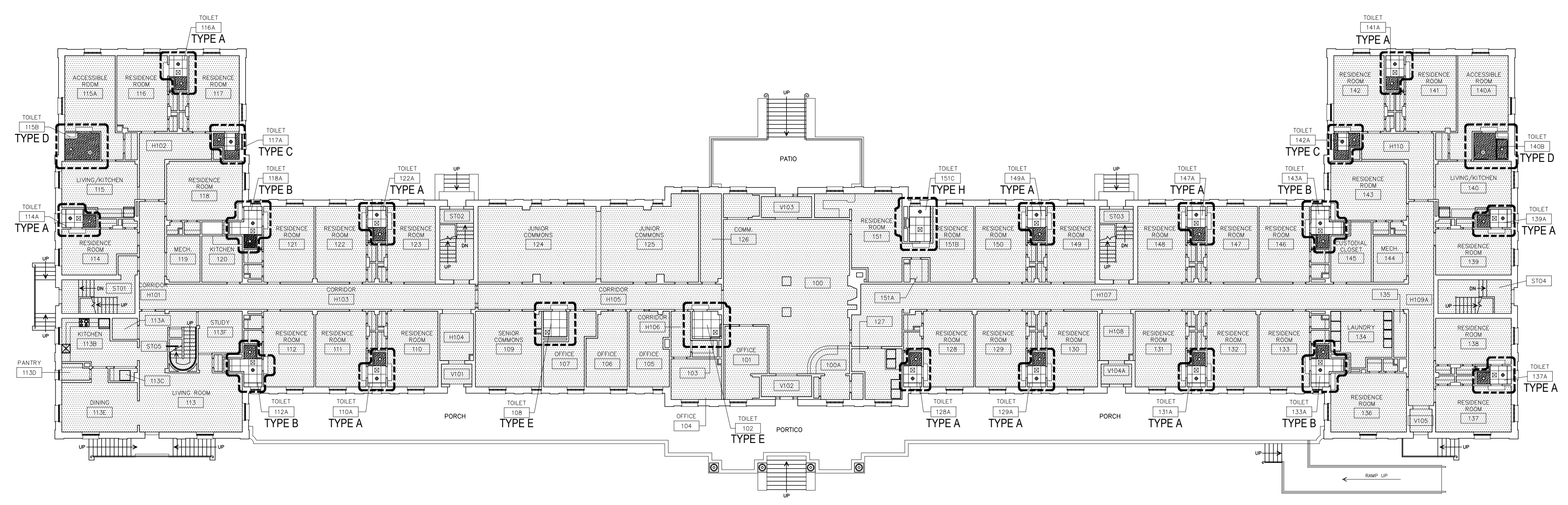
C1 3RD FLOOR OVERALL ALTERNATE REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"



B1 2ND FLOOR OVERALL ALTERNATE REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"



A1 1ST FLOOR OVERALL ALTERNATE REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"

CEILING NOTES

1. PROVIDE NEW CEILING IN ALL TOILET ROOMS TO BE RENOVATED UNLESS NOTED OTHERWISE. COORDINATE REFLECTED CEILING PLANS - SHEET A121 AND A122 FOR SCOPE OF WORK IN EACH TOILET TYPE.
2. EXISTING HARD SOFFITS TO REMAIN.

GENERAL CEILING NOTES

- A. FINISH LEGEND AND FINISH SCHEDULE FOR CEILING TYPES AND MATERIALS.
- B. CEILING GRIDS OR TILES TO BE CENTERED IN ALL ROOMS IN BOTH DIRECTIONS UNLESS NOTED OTHERWISE. COORDINATE WITH CEILING TRANSITION DETAIL A1/A500. PARTIAL CEILING TILES SHALL NOT BE LESS THAN 6" IN EITHER DIMENSION. PARTIAL TILES SHALL BE CUT FROM TILES OF THE SAME TYPE. TYPICAL PROFILE SHALL BE CUT IN AT ALL CUT LINES.
- C. COORDINATE REFLECTED CEILING PLANS WITH ELECTRICAL, MECHANICAL, AND ROOM FINISH INFORMATION.
- D. IN THE CASE OF MINOR DISCREPANCIES IN LOCATION OF CEILING MOUNTED COMPONENTS, THE REFLECTED CEILING PLAN SHALL GOVERN. IN THE CASE OF MAJOR DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.
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- J. REFER TO LIFE SAFETY PLAN, G100, FOR WALL FIRE RATINGS.
- K. PREP, PATCH, AND REPAIR EXISTING CEILINGS TO REMAIN AS NECESSARY TO RECEIVE NEW WORK. EXISTING DRYWALL CEILINGS TO REMAIN TO RECEIVE SKIM COAT AND REFINEMENT TO LEVEL 5 FINISH.

ALTERNATE #2

1. REPLACE BASE BID LIGHT FIXTURE.
2. PROVIDE ADDITIONAL LIGHT FIXTURE IN SHOWER. REFER TO ELECTRICAL SHEETS E121 AND E122.

TOILET ROOM COUNT 3RD FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	301, 303, 305, 307, 309, 311, 318, 321, 322, 327, 330, 332, 334, 336, 341, 346, 348, 351, 357
B	4	313, 324, 343, 353
C	2	317, 352
D	0	-
E	0	-
F	2	319, 350
G	0	NOT USED
H	0	-
TOTAL	28	

TOILET ROOM COUNT 2ND FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	20	201, 203, 205, 207, 209, 211, 218, 221, 222, 227, 230, 232, 234, 236, 238, 241, 244, 247, 253, 255C
B	4	213, 224, 243, 249
C	2	217, 248
D	0	-
E	0	-
F	2	219, 246
G	0	NOT USED
H	0	-
TOTAL	29	

TOILET ROOM COUNT 1ST FLOOR

TYPE	COUNT	BASE ROOM NUMBERS
A	12	110, 114, 116, 122, 128, 129, 131, 137, 139, 141, 147, 149
B	4	112, 118, 133, 143
C	2	117, 142
D	2	115, 140
E	2	102, 108
F	0	-
G	0	NOT USED
H	1	151
TOTAL	23	

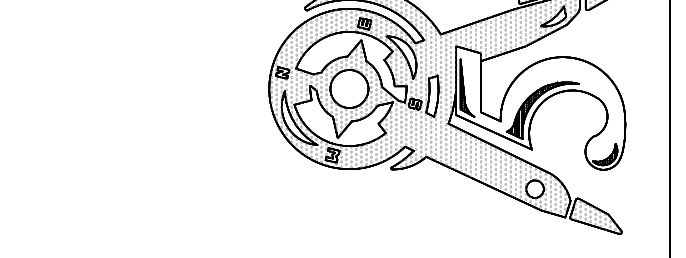
LEGEND

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP)
- 2x2 LAY-IN ACOUSTICAL CEILING PANEL
- GYPSUM BOARD
- HEIGHT ABOVE FINISHED FLOOR
- 8"x8" EXHAUST DIFFUSER
- 2x2 FLUORESCENT LIGHT FIXTURE
- RECESSED CAN LIGHT FIXTURE
- FLUSH MOUNT LIGHT FIXTURE

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STATE OF SOUTH CAROLINA
 COMPASS 5 PARTNERS, LLC
 REGISTERED ARCHITECTS
 C-100254
 Columbia, SC

STATE OF SOUTH CAROLINA
 MARVELLYN WILSON
 REGISTERED ARCHITECT
 6796



University of South Carolina

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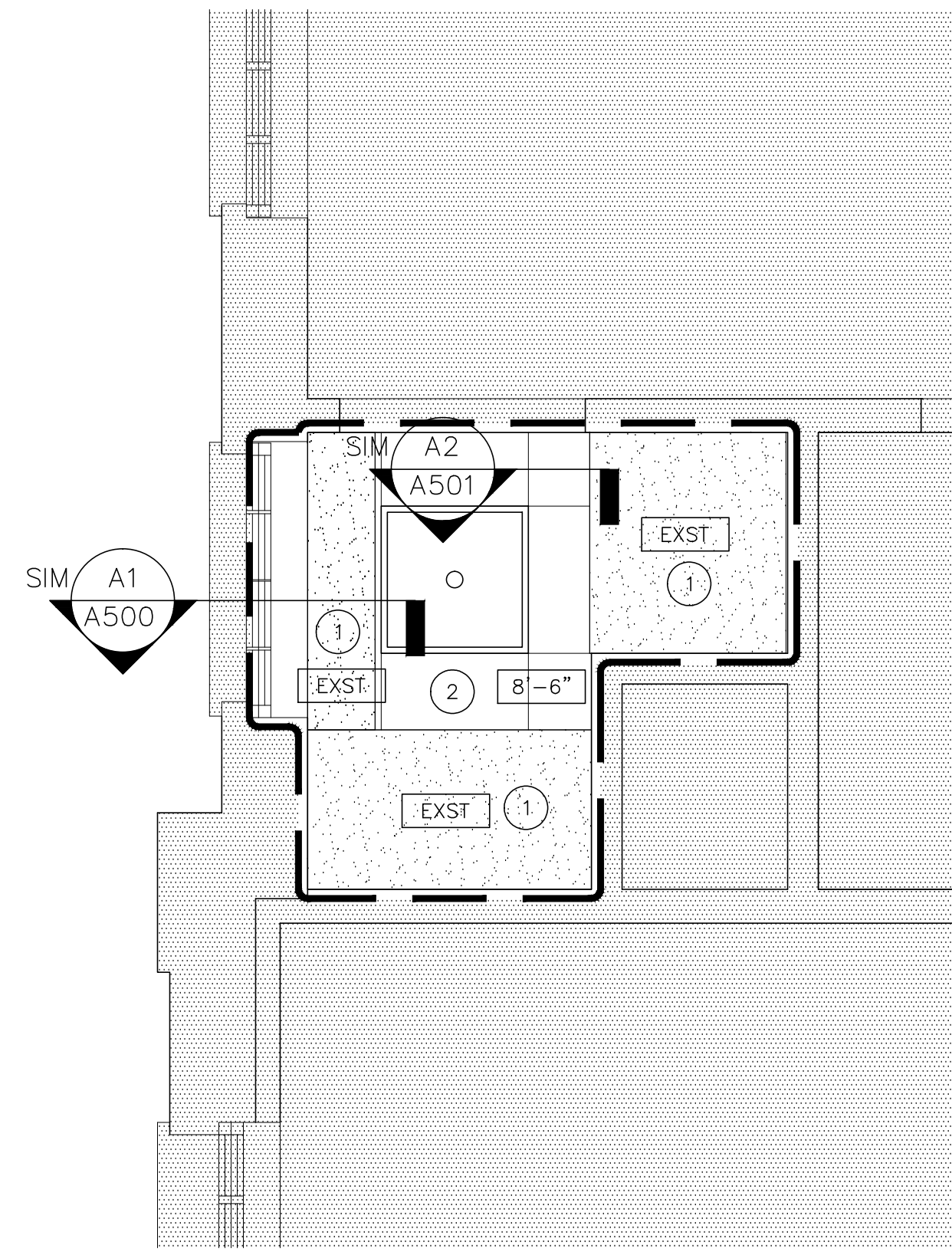
REVISIONS

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OSE CD SUBMITTAL	01/16/13
FOR BIDDING	01/24/13

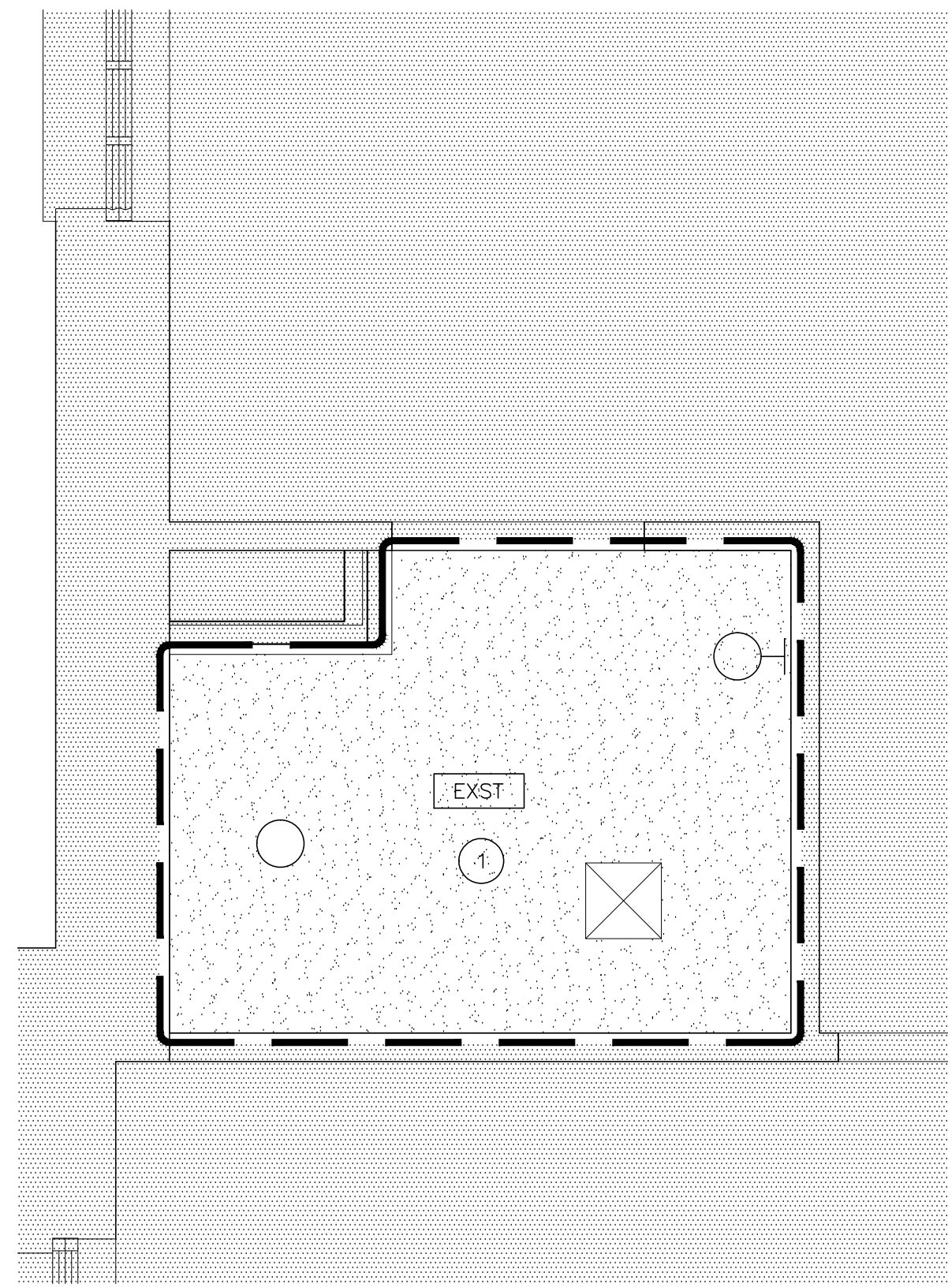
OVERALL ALTERNATE #2 REFLECTED CEILING PLANS

Date: 01-24-13
 Drawn: BRB
 Checked: MEC

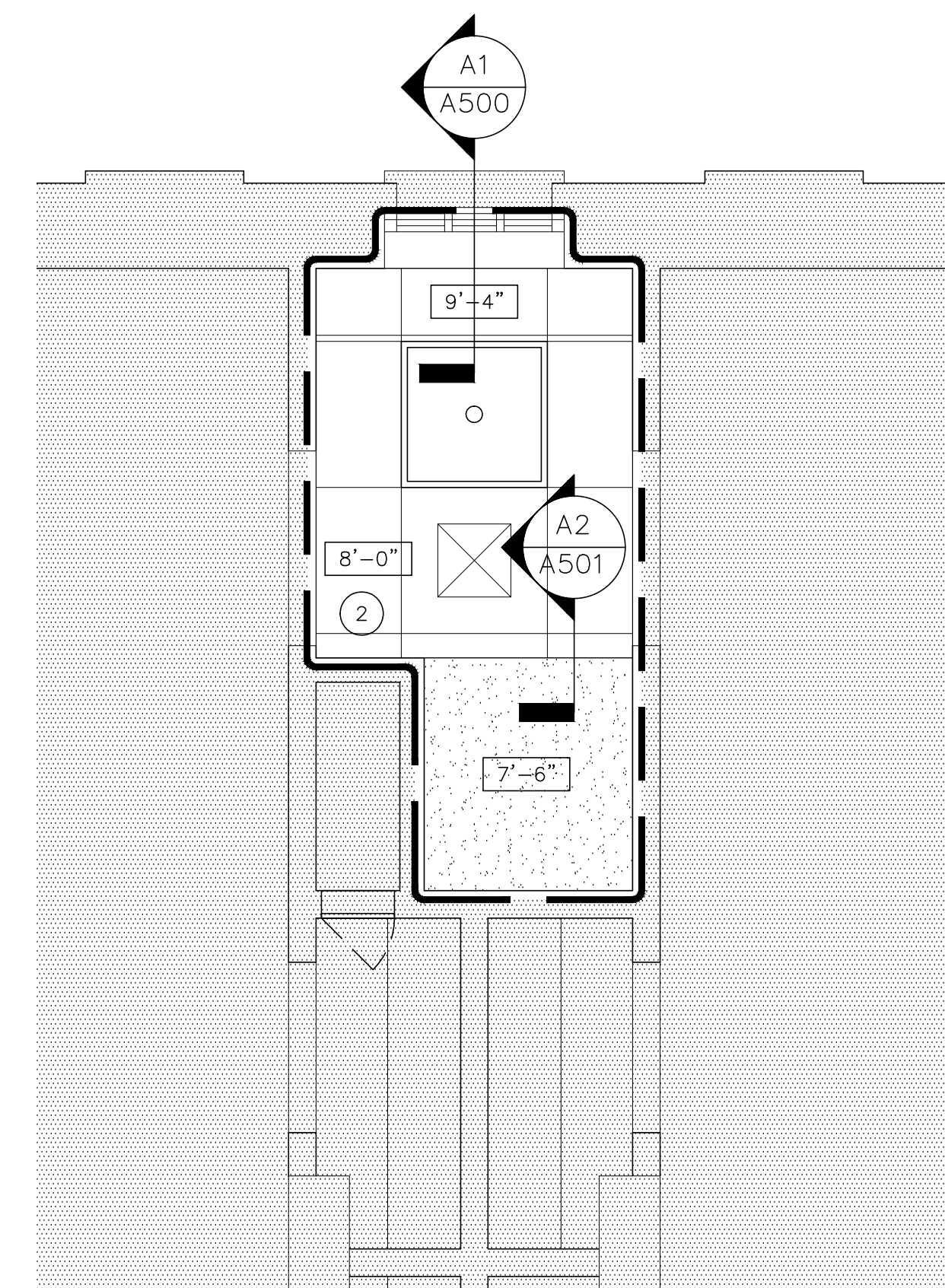
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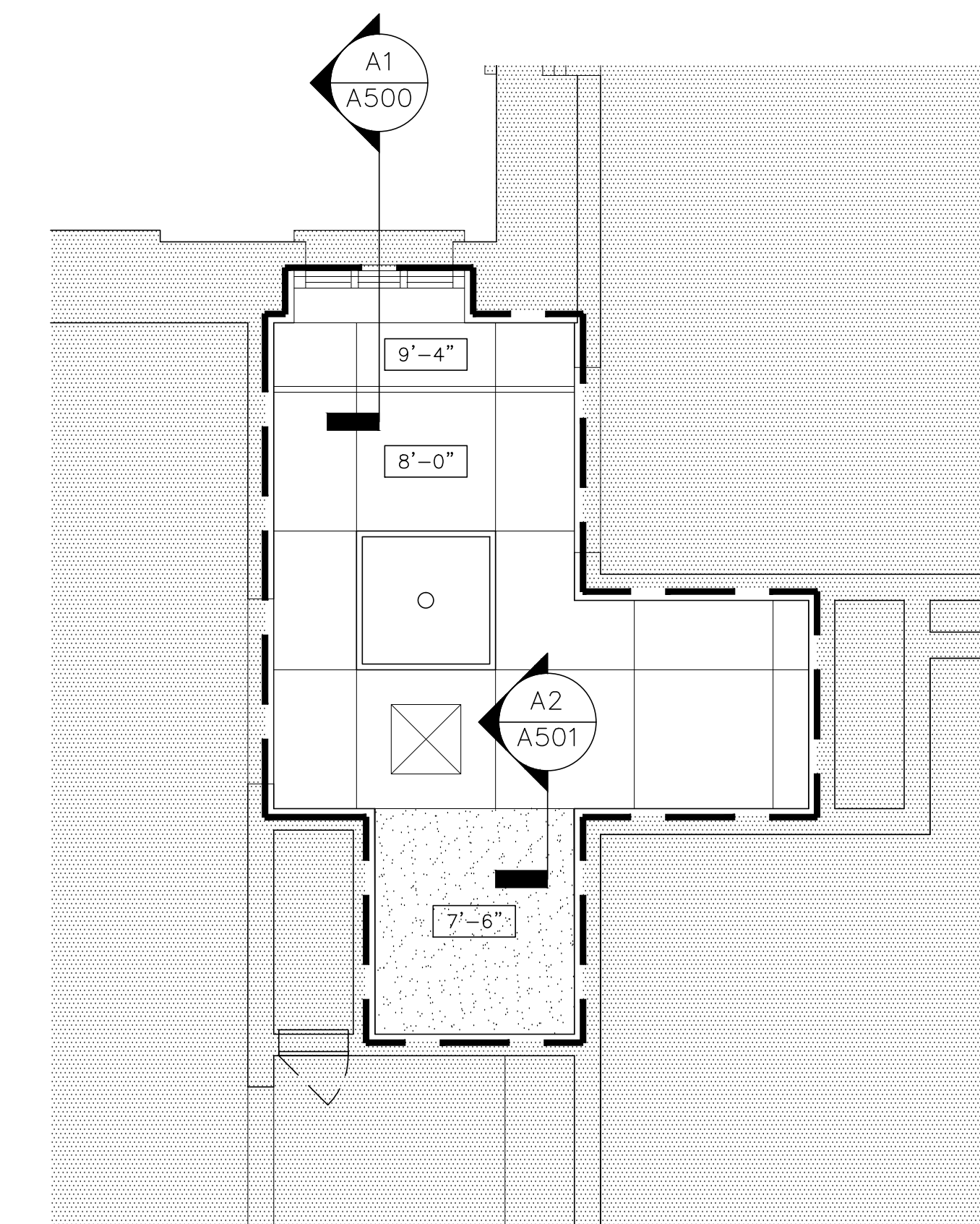
B1 TYP. TOILET TYPE "C" REFLECTED CEILING
 SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 142A
 SIMILAR: 217A, 317A
 OPPOSITE HAND: 117A, 248A, 352A



B2 TYP. TOILET TYPE "D" REFLECTED CEILING
 SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 115B
 OPPOSITE HAND: 140B



A1 TYP. TOILET TYPE "A" REFLECTED CEILING
 SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 122A
 SIMILAR: 116A, 137A, 139A, 147A, 149A, 201A, 203A, 205A, 207A, 209A, 211A, 221A, 222A, 244A, 247A, 253A, 255C, 301QA, 303A, 305A, 307A, 309A, 311A, 321A, 322A, 346A, 348A, 351A, 357A
 OPPOSITE HAND: 110A, 114A, 128A, 129A, 131A, 141A, 218A, 227A, 230A, 232A, 234A, 236A, 238A, 241A, 318A, 327A, 330A, 332A, 334A, 336A, 338A, 341A



A2 TYP. TOILET TYPE "B" REFLECTED CEILING
 SCALE: 1/2" = 1'-0"
 SHOWN: ROOM 143A
 SIMILAR: 118A, 213A, 243A, 313A, 343A
 OPPOSITE HAND: 112A, 133A, 224A, 249A, 324A, 353A

CEILING NOTES

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2. EXISTING HARD SOFFITS TO REMAIN.

GENERAL CEILING NOTES

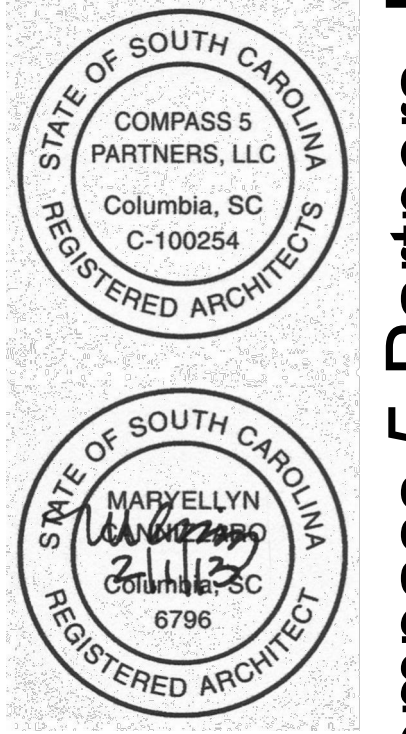
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KEYED CEILING NOTES

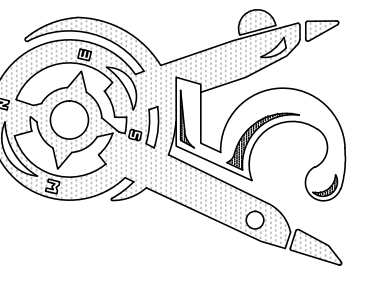
- 1 EXISTING CEILING TO REMAIN THIS AREA.
- 2 IN ROOM 321A, TYPES "C" AND "F", EXHAUST GRILLE IS WALL MOUNTED IN LIEU OF CEILING MOUNT. SEE MECHANICAL.

LEGEND

- AREA OF RENOVATION
- EXISTING AREA NOT IN SCOPE OF WORK (W/ EXCEPTION OF ACCESS REQUIRED FOR MEP/INFRASTRUCTURE ACCESS - REFER TO MEP)
- 2x2 LAY-IN ACOUSTICAL CEILING PANEL
- GYPSUM BOARD
- HEIGHT ABOVE FINISHED FLOOR
- 8"x8" EXHAUST DIFFUSER
- 2x2 FLUORESCENT LIGHT FIXTURE
- RECESSED CAN LIGHT FIXTURE



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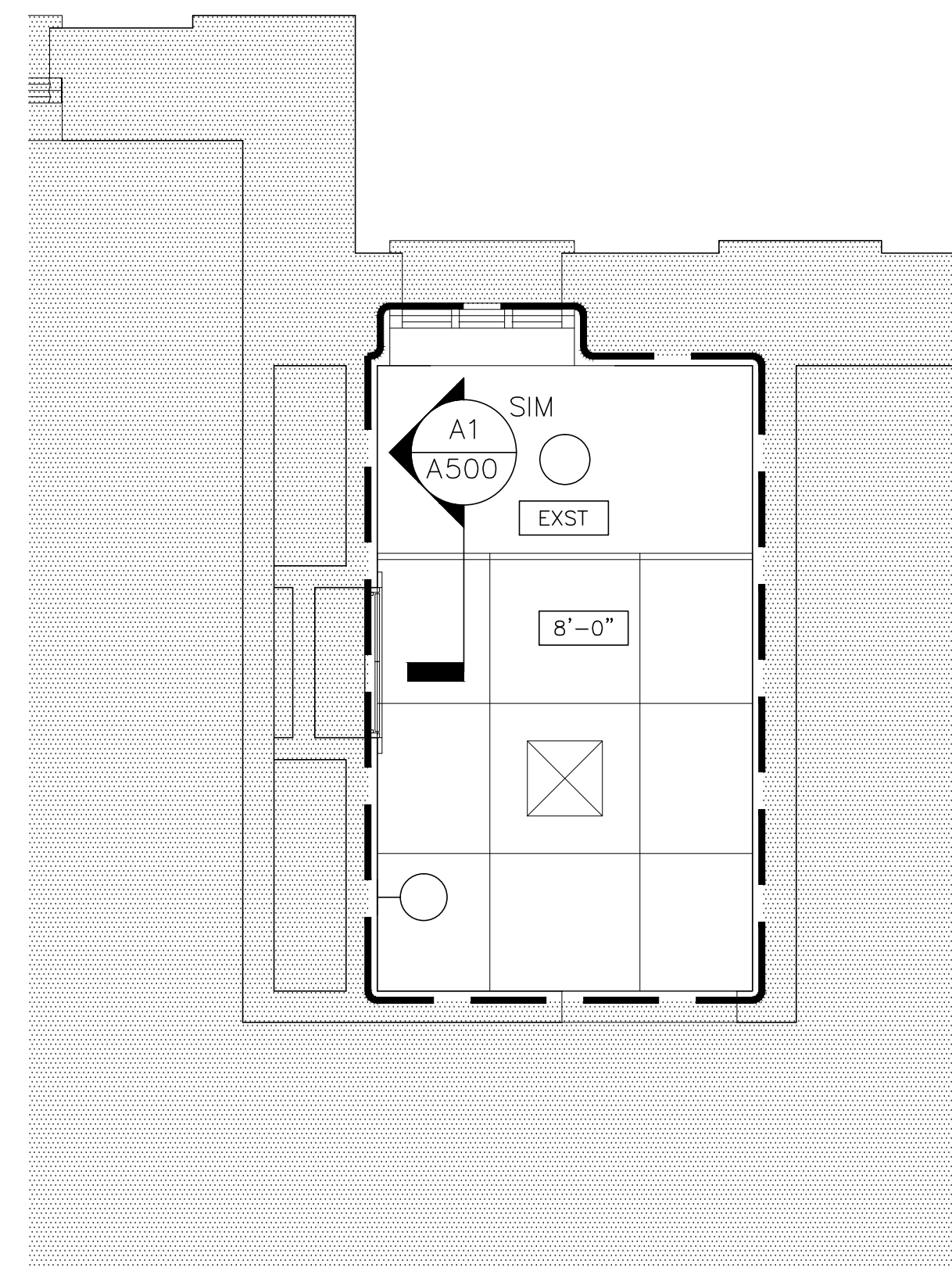
ENLARGED TOILET REFLECTED CEILING PLANS

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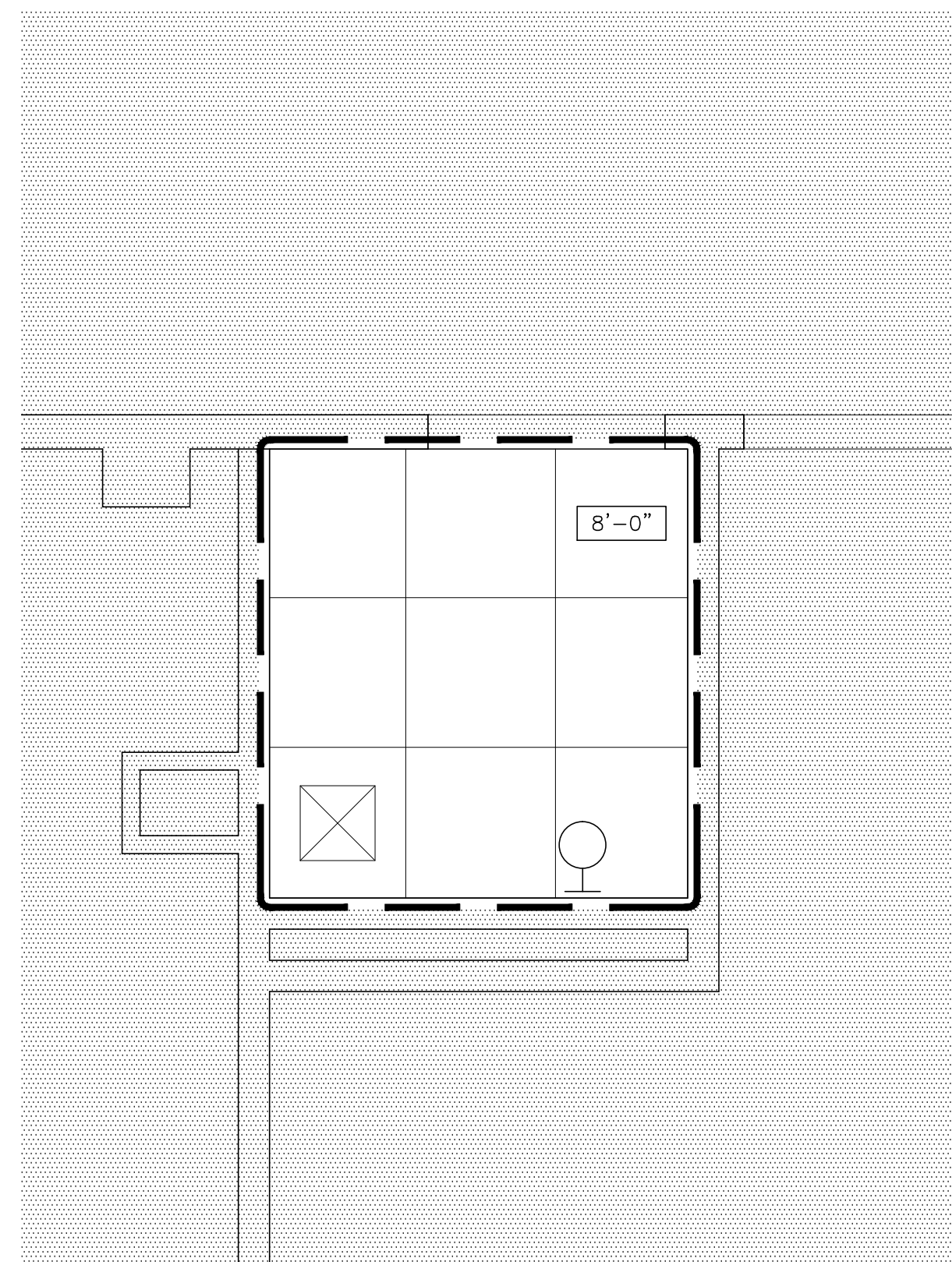
A131

NOT USED

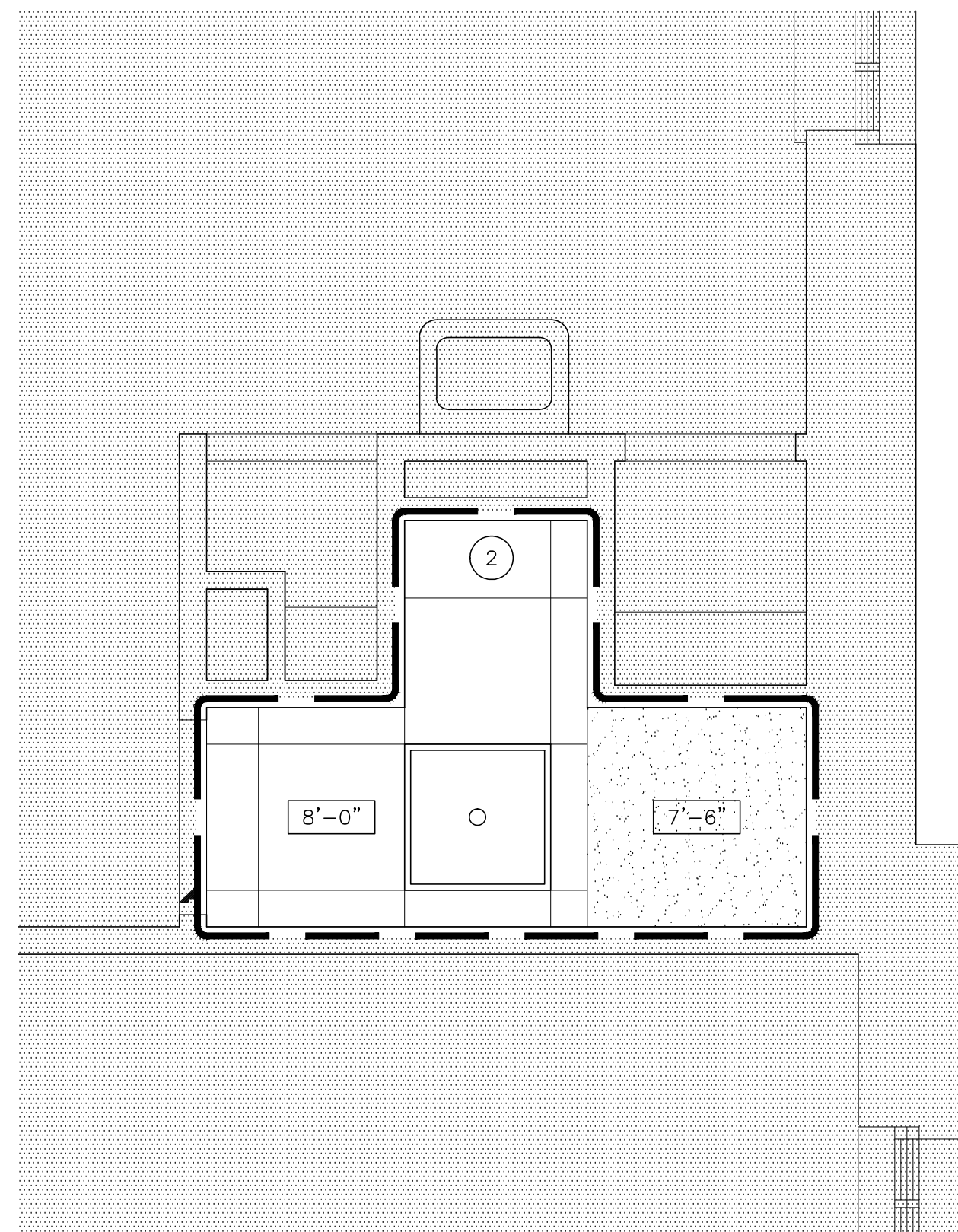
B1 TYP. TOILET TYPE "G" REFLECTED CEILING
NOT USED



B2 TYP. TOILET TYPE "H" REFLECTED CEILING
SCALE: 1/2" = 1'-0"
SHOWN: ROOM 151C



A1 TYP. TOILET TYPE "E" REFLECTED CEILING
SCALE: 1/2" = 1'-0"
SHOWN: ROOM 108
SIMILAR: 102



A2 TYP. TOILET TYPE "F" REFLECTED CEILING
SCALE: 1/2" = 1'-0"
SHOWN: ROOM 219A, 319A
OPPOSITE HAND: 246A, 350A

CEILING NOTES

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2. EXISTING HARD SOFFITS TO REMAIN.

KEYED CEILING NOTES

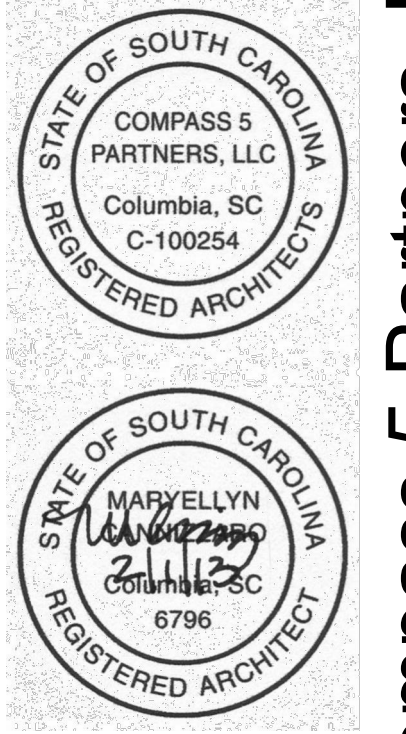
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LEGEND

- AREA OF RENOVATION
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A132